

GENERAL NOTES

- ALL WORK SHALL BE PERFORMED IN CONFORMANCE WITH APPLICABLE LAWS, REGULATIONS, AND CODES. CONTRACTOR SHALL NOTIFY STATE AND LOCAL AUTHORITIES BEFORE COMMENCEMENT OF WORK.
- CONTRACTOR SHALL VISIT THE SITE, FAMILIARIZE HIM/HERSELF WITH THE EXISTING CONDITIONS AND REVIEW AND UNDERSTAND THE REQUIREMENTS OF THE CONTRACT DOCUMENTS. CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS AND CONDITIONS PRIOR TO BEGINNING ANY WORK AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCY. DO NOT SCALE DRAWINGS TO OBTAIN DIMENSIONS. WRITTEN DIMENSIONS GOVERN. USE ACTUAL FIELD MEASUREMENTS. NOTIFY ARCHITECT IF ANY DISCREPANCIES ARE FOUND. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CORRECTIONS AND REPAIRS REQUIRED DUE TO THEIR FAILURE TO DO SO.
- PROTECT ALL WORK WHICH IS INDICATED TO REMAIN, INCLUDING BUILDINGS, PAVEMENTS, CURBS, & THE LIKE ON THE SITE & ADJACENT.
- ALL LINES ARE PARALLEL OR PERPENDICULAR TO THE LINES FROM WHICH THEY ARE MEASURED UNLESS NOTED OTHERWISE. CONTRACTOR SHALL VERIFY ALL DIMENSIONS & RELATIONS TO OTHER WORK PRIOR TO FABRICATION & INSTALLATION.
- COORDINATES & WRITTEN DIMENSIONS SHALL PREVAIL. DIMENSIONS ARE TO STRUCTURAL GRID OR TO FINISH SURFACES. DO NOT SCALE DRAWINGS.
- SOLELY AS A CONVENIENCE TO THE OWNER AND CONTRACTOR, THE ARCHITECT MAY INCLUDE DOCUMENTS PREPARED BY CERTAIN CONSULTANTS AND/OR VENDORS (OR INCORPORATE THE RECOMMENDATIONS OF SAID CONSULTANTS AND/OR VENDERS INTO DOCUMENTS PREPARED BY THE ARCHITECT) WITHIN THE SET OF DOCUMENTS ISSUED BY THE ARCHITECT. IT IS EXPRESSLY UNDERSTOOD, THAT BY SUCH ISSUANCE, THE ARCHITECT ASSUMES NO LIABILITY FOR THE SERVICES FOR SAID CONSULTANTS AND/OR VENDERS.
- THE SOILS REPORT, IF REQUIRED, ESTABLISHES THE RECOMMENDATIONS FOR EARTHWORK CONSTRUCTION AND SAID RECOMMENDATIONS ARE A PART OF THE CONSTRUCTION CONTRACT. THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR FINDINGS AND CONCLUSIONS IN THE SOILS REPORT AND INCLUDES IT FOR REFERENCE ONLY. CONTRACTOR SHALL NOTIFY THE ARCHITECT, ENGINEER AND OWNER OF ANY DISCREPANCY BETWEEN THIS REPORT AND THE PLANS PRIOR TO BEGINNING WORK. THE MORE STRINGENT REQUIREMENT SHALL APPLY.
- UNLESS OTHERWISE INDICATED ON THESE DRAWINGS OR IN THE PROJECT MANUAL AND SPECIFICATIONS AS BEING N.I.C. OR EXISTING, ALL ITEMS, MATERIALS, ETC. AND INSTALLATION OF THE SAME ARE A PART OF THE CONTRACT DEFINED BY THESE DRAWINGS AND SPECIFICATIONS.
- CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS AND COMPLY WITH SAFETY REGULATIONS AND RESTRICTIONS AS REQUIRED FOR WORKERS AND PEDESTRIAN PROTECTION DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT. PROVIDE PROTECTION AS REQUIRED TO PREVENT ANY DAMAGE TO EXISTING CONSTRUCTION WITHIN AND ADJACENT TO JOB SITE. WHERE DAMAGE OCCURS, THE CONTRACTOR SHALL REPAIR OR REPLACE DAMAGED AREA AND/OR MATERIAL AS REQUIRED TO THE OWNER'S APPROVAL AT NO ADDITIONAL COST. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.
- IF THERE ARE TRENCHES OR EXCAVATION 5'-0" OR MORE IN DEPTH INTO WHICH A PERSON IS REQUIRED TO DESCEND, CONTRACTOR SHALL OBTAIN NECESSARY PERMIT FROM THE STATE DIVISION OF INDUSTRIAL SAFETY.
- CONTRACTOR TO PROVIDE ALL LABOR, MATERIALS, EQUIPMENT, TOOLS, TRANSPORTATION UTILITIES, OTHER SERVICES AND RELATED TASKS NECESSARY FOR PROPER EXECUTION OF THE CONSTRUCTION REQUIRED BY THE CONTRACT DOCUMENTS.
- ANY REVISION OR ADDITIONAL WORK REQUIRED BY THE FIELD CONDITIONS OR LOCAL GOVERNING AUTHORITIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING.
- SHOULD ANY ASPHALTIC CONCRETE REQUIRE PATCHING ADJACENT TO BUILDINGS, IT SHALL BE DONE ACCORDING TO THE PAVING SPECIFICATIONS AND THE SOILS REPORT AND SHALL BE OF THE SAME SECTION AND DRAINAGE SCHEME AS ADJACENT PAVED AREAS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND PAYING FOR ALL PERMITS, LICENSES, INSPECTIONS AND TESTING INDICATED ON THE PLANS AND/OR BY SPECIFICATIONS OR REQUIRED BY THE SOILS REPORT AND/OR REQUIRED BY ANY GOVERNMENT AGENCY. CONTRACTOR SHALL VERIFY THE SIZE AND LOCATION OF ALL UTILITY LINES AND STUBS TO THE BUILDING AS MAY BE INDICATED ON THE PLANS. CONTRACTOR SHALL BE REQUIRED TO BRING ALL UTILITY LINES (WATER, SEWER, GAS AND ELECTRICAL), INTO THE BUILDING, FROM TERMINATION POINTS AS INDICATED ON THE PLANS, READY FOR SERVICE.
- ALL EXTERIOR OPENINGS SHALL COMPLY WITH CITY SECURITY ORDINANCES.
- NO ADDITIONAL ROOF OPENING OR ROOF MOUNTED EQUIPMENT IS ALLOWED BEYOND THAT WHICH IS SHOWN ON THESE PLANS WITHOUT WRITTEN CONSENT OF THE ARCHITECT AND STRUCTURAL ENGINEER. NO STRUCTURAL MEMBER SHALL BE CUT FOR PIPES, A/C DUCTS, ETC., UNLESS SPECIFICALLY DETAILED AND/OR APPROVED BY THE STRUCTURAL ENGINEER.
- ALL SHOP WELDING TO BE DONE IN A CERTIFIED LICENSED SHOP. ALL FIELD WELDING SHALL BE DONE BY LICENSED WELDERS UNDER CONTINUOUS INSPECTION WITH CERTIFICATE ISSUED AS REQUIRED BY BUILDING OFFICIAL.
- ONE SET OF THE APPROVED PLANS BEARING THE STAMPS OF THE AGENCY WITH JURISDICTION MUST BE MAINTAINED ON THE PROJECT SITE THROUGHOUT ALL PHASES OF CONSTRUCTION AND MUST BE MADE AVAILABLE TO BUILDING AND FIRE INSPECTORS FOR REFERENCE DURING INSPECTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SYSTEMS, INCLUDING, BUT NOT LIMITED TO, MECHANICAL, PLUMBING, AND ELECTRICAL WORK. WORK SHOWN ON THE DRAWINGS IS INTENDED TO ILLUSTRATE THE GENERAL DESIGN INTENT, SCOPE, AND LOCATION OF WORK. ALL WORK NOT SPECIFICALLY DRAWN, BUT REQUIRED FOR A COMPLETE, LEGAL, AND FUNCTIONING SYSTEM, SHALL BE PROVIDED AS PART OF THE WORK. MECHANICAL, ELECTRICAL AND PLUMBING PERMITS ARE NOT INCLUDED IN THIS SCOPE.

SITE NOTES

- THE CONTRACTOR SHALL VERIFY DIMENSIONS OF EXISTING SITE CONDITIONS, DISTANCES, AND TOPOGRAPHIC CONTOURS. SITE CONDITIONS SHOWN ARE FROM OWNER-PROVIDED INFORMATION, SURVEYS BY OTHERS, AND PUBLIC RECORDS. THE ARCHITECT IS NOT RESPONSIBLE FOR THE ACCURACY OF THE SURVEY OR EXISTING SITE INFORMATION.
- THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL UTILITIES BEFORE BEGINNING CONSTRUCTION BY RETAINING A UTILITY LOCATION SERVICE AND MARKING ALL UNDERGROUND UTILITY LOCATIONS. ANY UTILITY LOCATIONS SHOWN ON THE DRAWINGS ARE BASED ON AVAILABLE RECORDS AND ARE SHOWN FOR CONVENIENCE ONLY. UTILITIES MAY BE PRESENT BUT NOT SHOWN ON THE DRAWINGS. CARE SHOULD BE TAKEN TO AVOID DAMAGE TO EXISTING UTILITIES. THE CONTRACTOR SHALL COORDINATE CONNECTION LOCATIONS AND ELEVATIONS WITH THE UTILITY COMPANIES. RELOCATION OF UTILITIES, IF NECESSARY, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- THE GEOTECHNICAL REPORT, IF REQUIRED, ESTABLISHES THE RECOMMENDATIONS FOR EARTHWORK CONSTRUCTION AND SAID RECOMMENDATIONS ARE A PART OF THE CONSTRUCTION CONTRACT. THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR FINDINGS AND CONCLUSIONS IN THE GEOTECHNICAL OR SOILS REPORT(S) AND INCLUDES IT FOR REFERENCE ONLY. CONTRACTOR SHALL NOTIFY THE ARCHITECT, ENGINEER AND OWNER OF ANY DISCREPANCY BETWEEN THIS REPORT AND THE PLANS PRIOR TO BEGINNING WORK. THE MORE STRINGENT REQUIREMENT SHALL APPLY.
- THE CONTRACTOR SHALL EXECUTE AND COMPLETE ALL WORK ON ADJACENT PROPERTIES AND PUBLIC RIGHTS-OF-WAY THAT IS REQUIRED BY CONSTRUCTION EASEMENT AGREEMENTS WITH NEIGHBORING PROPERTY OWNERS, PRIVATE CONTRACT DOCUMENTS WITH THE CITY OF MERCER ISLAND'S TRANSPORTATION, STREET USE PERMITS, OR ANY OTHER AGREEMENT OR CONTRACT. ALL IMPROVEMENTS AND REPAIRS TO SIDEWALKS, ALLEYS, STREETS AND NEIGHBORING PROPERTIES SHALL BE COORDINATED TO MINIMIZE THE IMPACT ON THE PUBLIC AND TO MAINTAIN ACCESS TO NEIGHBORING PROPERTIES. THE CONTRACTOR SHALL MAKE ARRANGEMENTS AND SECURE NECESSARY PERMITS WHEN CONSTRUCTION REQUIRES STREET OR SIDEWALK CLOSURES.
- PROTECT ALL WORK WHICH IS INDICATED TO REMAIN, INCLUDING BUILDINGS, PAVEMENTS, CURBS, & THE LIKE ON THE SITE & ADJACENT.
- IF ANY HAZARDOUS MATERIAL, INCLUDING BUT NOT LIMITED TO ASBESTOS, LEAD OR POLYCHLORINATED BIPHENYL (PCB), IS ENCOUNTERED ON THE SITE BY THE CONTRACTOR, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER.

GENERAL INFORMATION

ADDRESS: 3413 72ND PL SE MERCER ISLAND WA 98040
 PARCEL NUMBER: 130030-1360
 OWNER'S NAME: JANE ECKELS AND HANS ANDERSEN
 LEGAL DESCRIPTION: SEE SHEET A1.0

SCOPE OF WORK

REPLACEMENT OF EXISTING GARAGE (SAME FOOTPRINT), 244 SF MAIN LEVEL ADDITION, 368 SF SECOND LEVEL ADDITION, INTERIOR REMODEL PER PLANS, ADU AT EXISTING LOWER LEVEL.
 NOTE: MECHANICAL, ELECTRICAL, AND PLUMBING DESIGN IS NOT INCLUDED IN THIS SET. CONTRACTOR IS RESPONSIBLE FOR ANY ADDITIONAL PERMITS.

GOVERNING BUILDING CODES

WASHINGTON STATE AMENDMENTS TO CODES REFERENCED BELOW
 CITY OF MERCER ISLAND AMENDMENTS TO CODES REFERENCED BELOW
 2021 INTERNATIONAL RESIDENTIAL CODE (IRC)
 2021 INTERNATIONAL EXISTING BUILDING CODE
 2021 INTERNATIONAL FIRE CODE (IFC)
 2021 WASHINGTON STATE ENERGY CODE (WSEC-R)
 2021 INTERNATIONAL MECHANICAL CODE (IMC)
 2021 UNIFORM PLUMBING CODE (UPC)

BUILDING CODE INFORMATION

YEAR CONSTRUCTED 1959
 OCCUPANCY GROUP R-3/U-1
 TYPE OF CONSTRUCTION VN

DWELLING/GARAGE SEPARATION WALLS NOT LESS THAN 1/2" GWB APPLIED ON GARAGE SIDE
 CEILING NOT LESS THAN 5/8" TYPE X GWB
 STRUCTURE SUPPORTING SEPARATION NOT LESS THAN 1/2" GWB

ZONING CODE INFORMATION

ZONING R8.4
 LOT AREA 7,500 SF PER KC RECORDS
 SETBACKS SEE SITE PLAN
 HEIGHT 31'-1" TO RIDGE

ENERGY CODE INFORMATION: SEE A0.3

- NOTE:
- HVAC SYSTEM FOR ADDITION SHALL BE INSTALLED PER IMC, WORK TO BE COMPLETED UNER SEPARATE PERMIT.

ENERGY EFFICIENCY:

PROVIDE A PROGRAMMABLE THERMOSTAT FOR THE PRIMARY SPACE CONDITIONING SYSTEM WITHIN THE ADDITION PER SEC R40.13
 A MINIMUM OF 90 PERCENT OF PERMANENTLY INSTALLED LAMPS IN LIGHTING FIXTURES SHALL BE HIGH EFFICACY PER SEC R404.11

WHOLE HOUSE VENTILATION

INTERMITTENT WHOLE HOUSE VENTILATION USING EXHAUST FAN SYSTEM PER M1505.4.4
 RUNTIME 50%
 AIRFLOW RATE 90CFM x 2 FACTOR= 180 CFM

WHOLE-HOUSE FAN LOCATED 4 FT OR LESS TO INTERIOR GRILLE SHALL HAVE A SONE RATING OF MAX 1.0. LOCATION: ADDITION LAUNDRY/DRYING ROOM

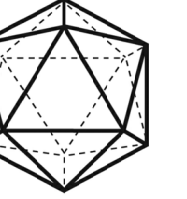
AREA	LOCAL EXHAUST RATES
KITCHEN	180 CFM INTERMITTENT (ELECTRIC), 250 FOR COMBUSTION PER M1505.4.4(1)
BATHROOM-TOILET ROOM, LAUNDRY	MECHANICAL EXHAUST CAPACITY 50 CFM INTERMITTENT

DRAWING INDEX

A0.0 GENERAL INFORMATION	A4.0 SECTIONS
A0.1 SYMBOLS AND ABBREVIATIONS	A6.0 SCHEDULES
A0.2 ZONING	S1.1 GENERAL STRUCTURAL NOTES
A0.3 ENERGY CODE	S2.1 FOUNDATION PLAN
A1.0 SITE PLAN	S2.2 MAIN FLOOR FRAMING PLAN
A1.1 SITE PLAN CALCULATIONS	S2.3 UPPER FLOOR/LOW ROOF FRAMING PLAN
D1.0 LOWER LEVEL DEMO PLAN	S2.3 UPPER FLOOR/LOW ROOF FRAMING PLAN
D1.1 MAIN LEVEL DEMO PLAN	S2.4 ROOF FRAMING PLAN
A2.0 LOWER LEVEL FLOOR PLAN	S3.1 TYPICAL CONCRETE DETAILS
A2.1 MAIN LEVEL FLOOR PLAN	S3.2 FOUNDATION DETAILS
A2.2 UPPER LEVEL FLOOR PLAN	S4.1 TYPICAL WOOD FRAMING DETAILS
A2.3 ROOF PLAN	S4.2 WOOD FRAMING DETAILS
A3.0 WEST/EAST ELEVATIONS	S4.3 WOOD FRAMING DETAILS
A3.1 NORTH/SOUTH ELEVATIONS	S4.4 WOOD FRAMING DETAILS

NOTE:

A NFPA 13D FIRE SPRINKLER SYSTEM IN COMPLIANCE WITH NFPA 13D AND COMI STANDARDS SHALL BE INSTALLED THROUGHOUT THE RESIDENCE. A SEPARATE FIRE PERMIT IS REQUIRED. PERMIT TO BE OBTAINED BY CONTRACTOR.

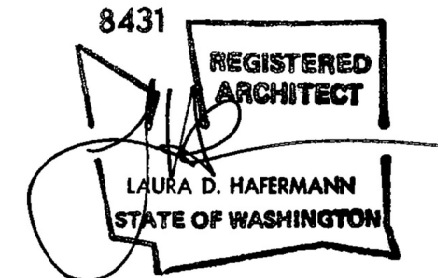


SALT STUDIO

ARCHITECT
 SALT STUDIO LLC
 66 BELL STREET #1
 SEATTLE, WA 98121
 T: (206) 948 2104

OWNER:
 JANE ECKELS/HANS ANDERSEN
 3413 72ND PL SE
 MERCER IS, WA 98040

STRUCTURAL ENGINEER:
 SWENSON SAY FAGET
 2124 3RD AVE SUITE 100
 SEATTLE WA 98121
 (206)443-6212



ECKELS ANDERSEN ADDITION

3413 72ND PL SE
 MERCER IS, WA 98040

PERMIT SET

DATE: MAY, 2024
 PROJECT#: 157
 SCALE: AS NOTED

50% SD 02/14/23
 100% SD 03/24/23
 PRELIM. PRICING 05/01/23
 REV 1 10/23/23
 REVISED SCOPE 12/15/23
 OPTIONS 02/02/24
 PERMIT 05/28/24
 PERMIT RESPONSE 1 10/10/24

DESIGNED: LH
 DRAWN: LH
 REVIEWED: LH

GENERAL INFORMATION

A0.0

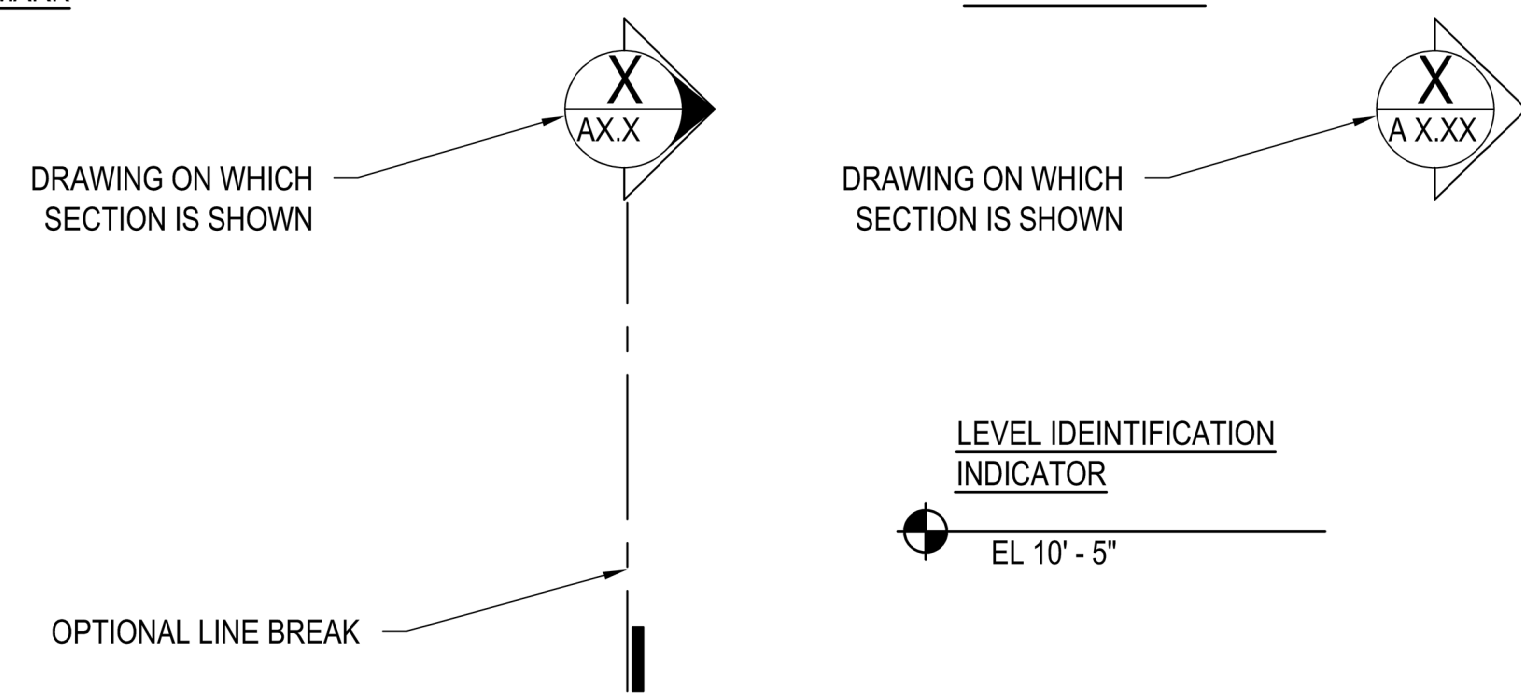
MATERIALS

	EARTH SURFACE
	SAND / GROUT
	CONCRETE
	WOOD OR METAL STUD WALLS
	GYPSUM BOARD
	CONT. WOOD FRAMING
	WOOD BLOCKING
	FINISHED WOOD
	PLYWOOD
	BATT INSULATION
	RIGID INSULATION BOARD
	BRICK
	CONCRETE UNIT MASONRY
	STEEL
	GLASS
	RESILIENT TILES

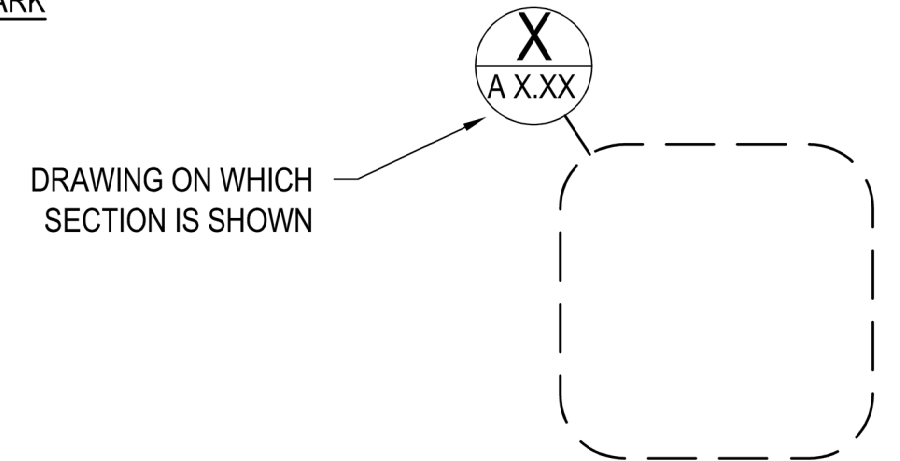
REFERENCING

SECTIONS ARE CROSS REFERENCED IN THE FOLLOWING MANNER:

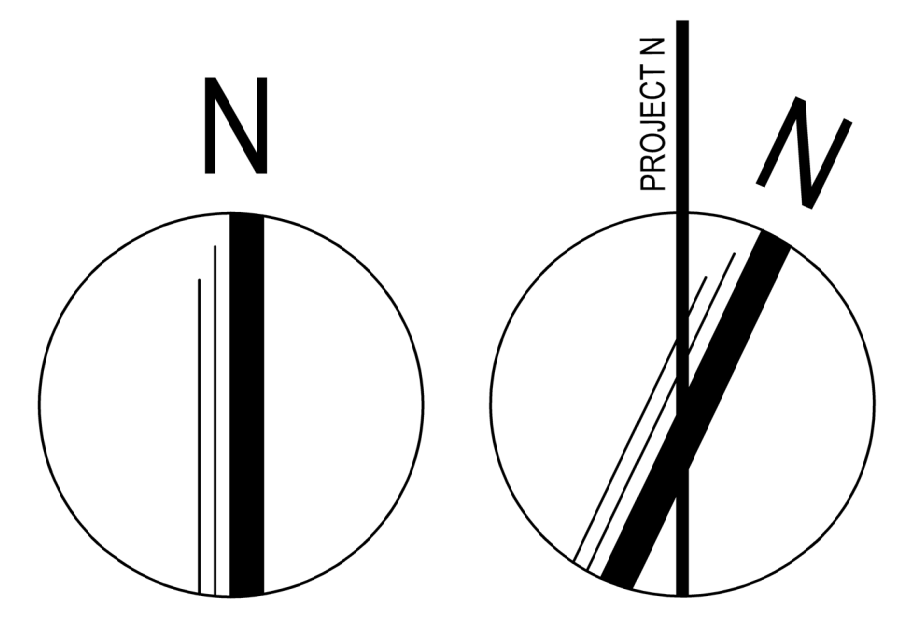
SECTION MARK



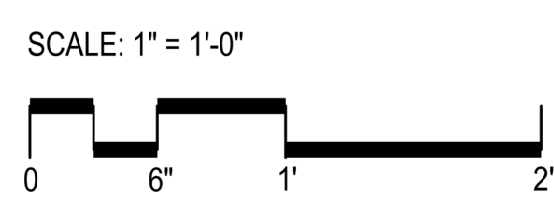
DETAIL MARK



NORTH ARROW



GRAPHIC SCALE



DIMENSIONING STANDARDS

- DO NOT SCALE DRAWINGS FOR DIMENSIONS. DIMENSIONS ARE INDICATED IN THE DOCUMENTS.
- ALL INTERIOR PARTITIONS ARE DIMENSIONED TO THE FACE OF WALL UNLESS NOTED OTHERWISE.
- THE TERM "EQUAL" OR "EQ" IS USED IN LIEU OF ACTUAL DIMENSIONS WHERE EQUAL SPACING OF ELEMENTS IS REQUIRED.
- THE TERM "CLEAR" OR "CLR" IS USED TO DENOTE A MINIMUM DIMENSIONAL REQUIREMENT. HOWEVER, THE DIMENSION COULD BE LARGER.
- WALLS CENTERED ON A COLUMN OR GRIDLINE WILL NOT BE DIMENSIONED ON PLANS BUT WILL BE DRAWN AS INDICATED BELOW.

SYMBOLS

	GRIDLINE MARK
	DOOR IDENTIFICATION MARK
	WALL TYPE MARK
	FIRE EXTINGUISHER CABINET
	KEY NOTE
	DOWN SPOUT
	REVISION CLOUD
	REVISION DELTA
	ε CENTER LINE
	ε PROPERTY LINE
	HIDDEN OR EXISTING CONSTRUCTION
	BREAK LINE

ABBREVIATIONS

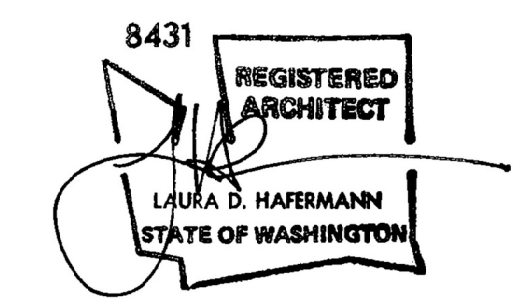
AB	ANCHOR BOLT	FLR	FLOOR	P LAM	PLASTIC LAMINATE
ACT	ACOUSTICAL CEILING TILE	FLG	FLANGE	PT	PAINT
ADJC	ADJACENT	FRFP	FIREPROOF, FRAME	PREFIN	PREFINISHED
ADJ	ADJUSTABLE	FRC	FIBER REINFORCED CONCRETE	PRV	POWER ROOF VENT
AFF	ABOVE FINISH FLOOR	FSB	FOOD STORAGE BUILDING	PSF	LBS PER SQUARE FOOT
AHU	AIR HANDLING UNIT	FTG	FOOTING	PTD	PAPER TOWEL DISPENSER
ALUM	ALUMINUM	FTR	FINNED TUBE RADIATION	QT	QUARRY TILE
BD	BOARD	GA	GAGE	R	RADIUS, RISER
BFE	BOTTOM FOOTING ELEVATION	GALV	GALVANIZED	RAD	RADIATOR
BITUM	BITUMINOUS	GC	GENERAL CONTRACTOR	RC	REINFORCED CONCRETE
BLDG	BUILDING	GL	GLASS, GLAZING	RCP	REINFORCED CONCRETE PIPE
BLK	BLOCK	GND	GROUND	RD	ROOF DRAIN
BLKG	BLOCKING MACHINE	GR	GRADE	RECPT	RECEPTACLE
BM	BEAM	GR	GRADE	REINF	REINFORCED
BOT	BOTTOM	GRL	GRILLE	RET	RETAINING
BRG	BEARING	GRV	GRAVITY ROOF VENT	RHMS	ROUND HEAD MACHINE
BUR	BUILT-UP ROOFING	GWB	GYPSUM WALL BOARD	RHWS	ROUND HEAD WOOD
CPT	CARPET	GWT	GLAZED WALL TILE	RM	ROOM
CH BD	CHALKBOARD	GYP	GYPSUM	RO	ROUGH OPENING
CEM	CEMENT	HB	HOSE BIB	RWL	RAINWATER LEADER
CHAN	CHANNEL	HC	HANDICAPPED	SD	SOAP DISPENSER
CJ	CONSTRUCTION JOINT	HDWD	HARDWOOD	SECT	SECTION
CL	CENTER LINE	HMMS	HEX HEAD MACHINE SCREW	SFT	STRUCTURAL FACING TILE
CLG	CEILING	HM	HOLLOW METAL	SHR	SHOWER
CMU	CONCRETE MASONRY UNIT	HPT	HIGH POINT	SHT	SHEET
CMT	CERAMIC MOSAIC TILE	HNDRL	HANDRAIL	SIM	SIMILAR
CO	CLEAN OUT	HGT	HEIGHT	SMS	SHEET METAL SCREW
COL	COLUMN	HORIZ	HORIZONTAL	SND	SAN. NAPKIN DISPENSER
COMP	COMPRESSION, COMPACTED	HR	HOUR	SNR	SANITARY NAPKIN RECEPTACLE
CONC	CONCRETE	HVAC	HEATING, VENTILATION & AIR CONDITIONING	SP	SPACE
CONT	CONTINUOUS	ID	INSIDE DIAMETER	SPEC	SPECIFICATION
CONTR	CONTRACTOR	IF	INSIDE FACE	S SK	SERVICE SINK
CONV.	CONVECTOR	INSUL	INSULATION	SST	STAINLESS STEEL
DBL	DOUBLE	INSTL	INSTALLATION	STD	STANDARD
DET	DETAIL	INT	INTERIOR	STL	STEEL
DF	DRINKING FOUNTAIN	INV	INVERT	STRUC	STRUCTURAL
DIA	DIAMETER	JAN	JANITOR	SUSP	SUSPENDED
DIM	DIMENSION	JST	JOIST SND	T	TOP, TILE, TREAD
DISP	DISPENSER	JT	JOINT SND	TEMP	TEMPORARY
DN	DOWN	LAV	LAVATORY	TERR	TERRAZZO
DO	DITTO	LP	LOWPOINT	T&G	TONGUE & GROOVE
DR	DRAIN, DOOR	MAX	MAXIMUM	TH	THRESHOLD, THICK
DWG	DRAWING	MB	MARKER BOARD	TOD	TOP OF DECK
DS	DOWNSPOUT	MECH	MECHANICAL	TOJ	TOP OF JOIST
DWL	DOWEL	MFR	MANUFACTURER	TOS	TOP OF STEEL
EA	EACH	MH	MANHOLE	TPD	TOILET PAPER DISPENSER
EPDM	ETYLENE PROPYLENE DIENE MONOMER	MIN	MINIMUM, MINUTE	TR	TROWELED, TREAD
EF	EACH FACE	MIR	MIRROR	TS	TUBULAR STEEL
EL	ELEVATION	MISC	MISCELLANEOUS	TYP	TYPICAL
ELEC	ELECTRIC	MO	MASONRY OPENING	UGRD	UNDERGROUND
EQUIP	EQUIPMENT	MTL	METAL	UH	UNIT HEATER
EW	EACH WAY	MTD	MOUNTED	UNO	UNLESS NOTED OTHERWISE
EWV	ELECTRIC WATER COOLER	NIC	NOT IN CONTRACT	UR	URINAL
ELVR	ELEVATOR	NS	NEAR SIDE	VERT	VERTICAL
EXH	EXHAUST	OA	OVER ALL	VCT	VINYL COMP. TILE
EXST OR (E)	EXISTING	OC	ON CENTER	VWC	VINYL WALL COVERING
EXP JT	EXPANSION JOINT	OD	OUTSIDE DIAMETER	W/	WITH
EXT	EXTERIOR	OF.	OUTSIDE FACE	WC	WATER CLOSET / TOILET
FD	FLOOR DRAIN	OPNG	OPENING	WD	WOOD
FDN	FOUNDATION	PR	PAIR	WDW	WINDOW
FHMS	FLAT HEAD MACHINE SCREW	PNL	PANEL	WNWC	WAINSCOT
FH	FIRE HYDRANT	PART	PARTITION	WO	WITHOUT
		P/C	PRECAST	WP	WORKING POINT
		PLAS	PLASTER		
		PL	PLATE		



ARCHITECT
SALT STUDIO LLC
66 BELL STREET #1
SEATTLE, WA 98121
T: (206) 948 2104

OWNER:
JANE ECKELS/HANS ANDERSEN
3413 72ND PL SE
MERCER IS, WA 98040

STRUCTURAL ENGINEER:
SWENSON SAY FAGET
2124 3RD AVE SUITE 100
SEATTLE WA 98121
(206)443-6212



ECKELS ANDERSEN ADDITION

3413 72ND PL SE
MERCER IS, WA 98040

PERMIT SET

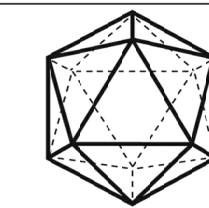
DATE: MAY, 2024
PROJECT#: 157
SCALE: AS NOTED

50% SD	02/14/23
100% SD	03/24/23
PRELIM. PRICING	05/01/23
REV 1	10/23/23
REVISED SCOPE	12/15/23
OPTIONS	02/02/24
PERMIT	05/28/24
PERMIT RESPONSE 1	10/10/24

DESIGNED: LH
DRAWN: LH
REVIEWED: LH

SYMBOLS AND ABBREVIATIONS

A0.1



SALT STUDIO

ARCHITECT
SALT STUDIO LLC
66 BELL STREET #1
SEATTLE, WA 98121
T: (206) 948 2104

OWNER:
JANE ECKELS/HANS ANDERSEN
3413 72ND PL SE
MERCER IS, WA 98040

STRUCTURAL ENGINEER:
SWENSON SAY FAGET
2124 3RD AVE SUITE 100
SEATTLE WA 98121
(206)443-6212

8431

REGISTERED
ARCHITECT
LAURA D. HAERMANN
STATE OF WASHINGTON

ECKELS
ANDERSEN
ADDITION

3413 72ND PL SE
MERCER IS, WA 98040

PERMIT
SET

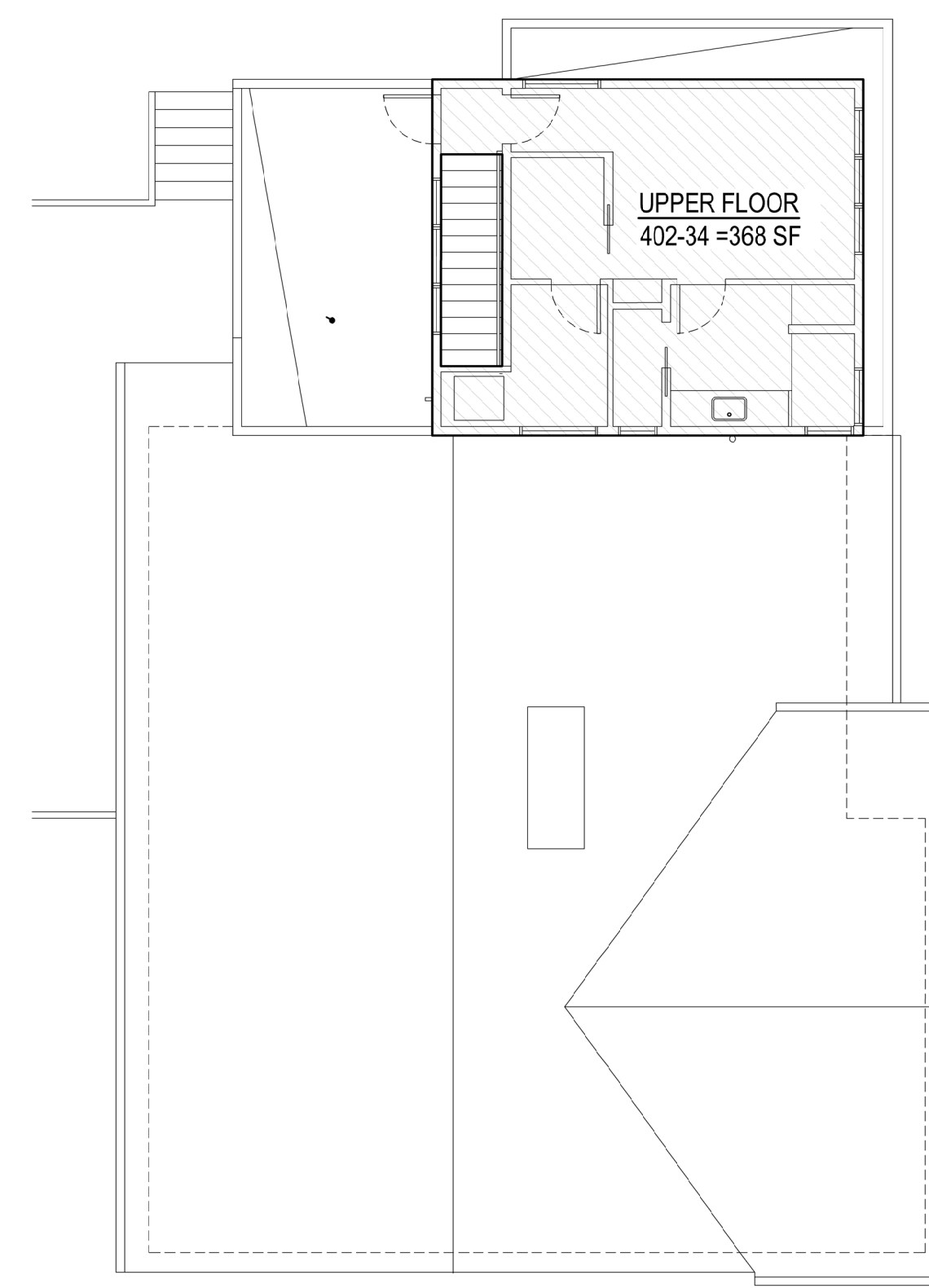
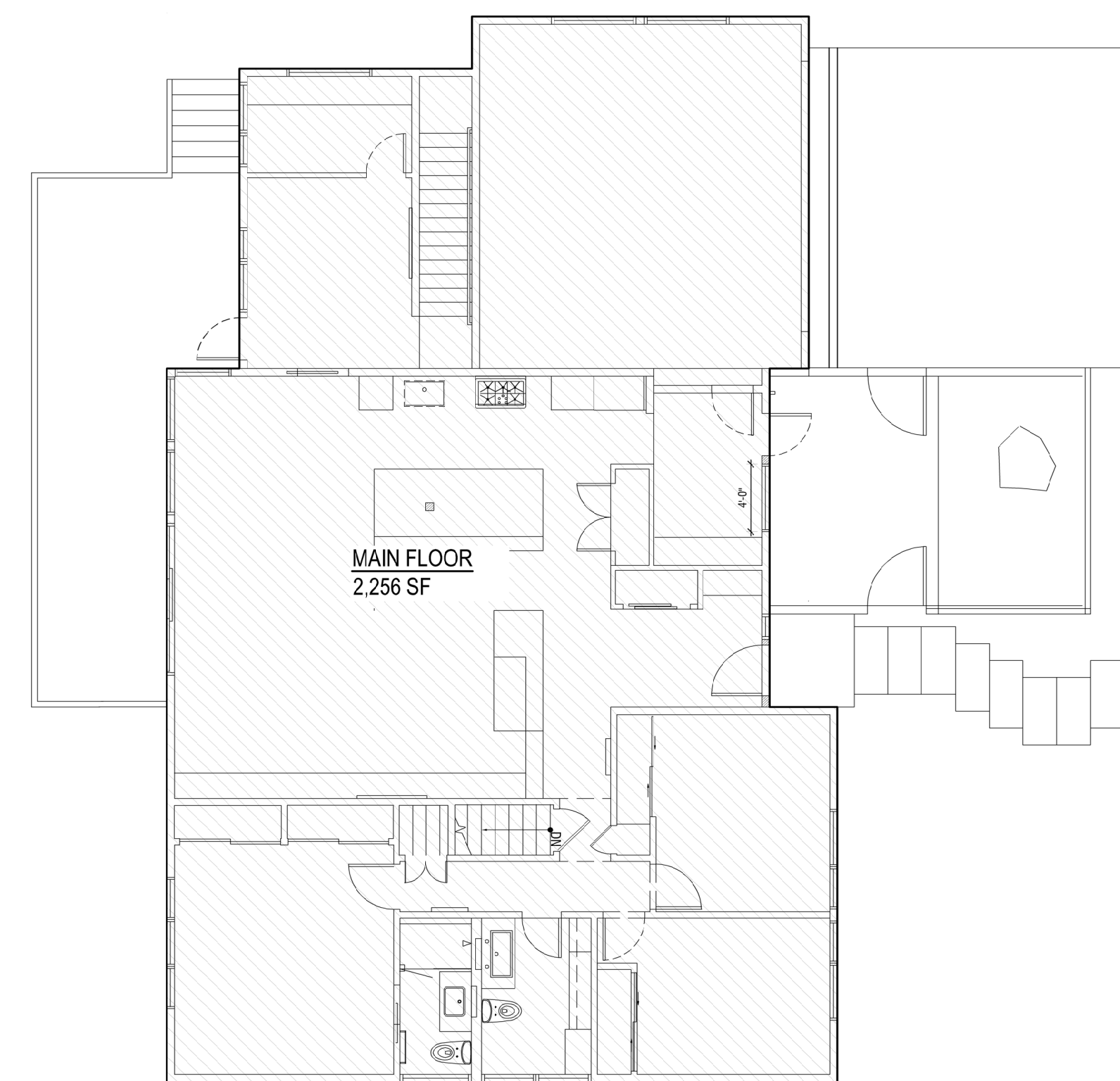
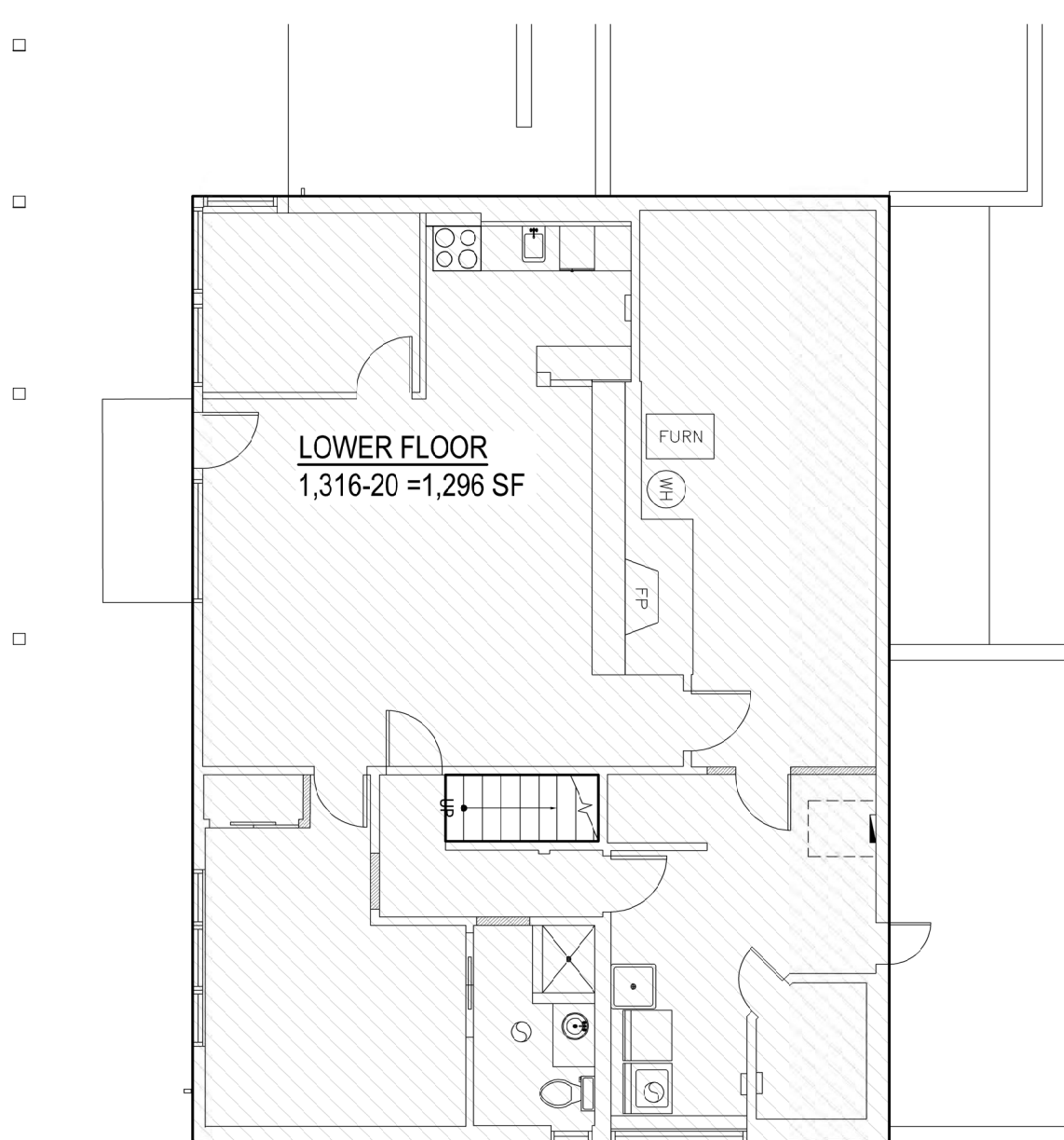
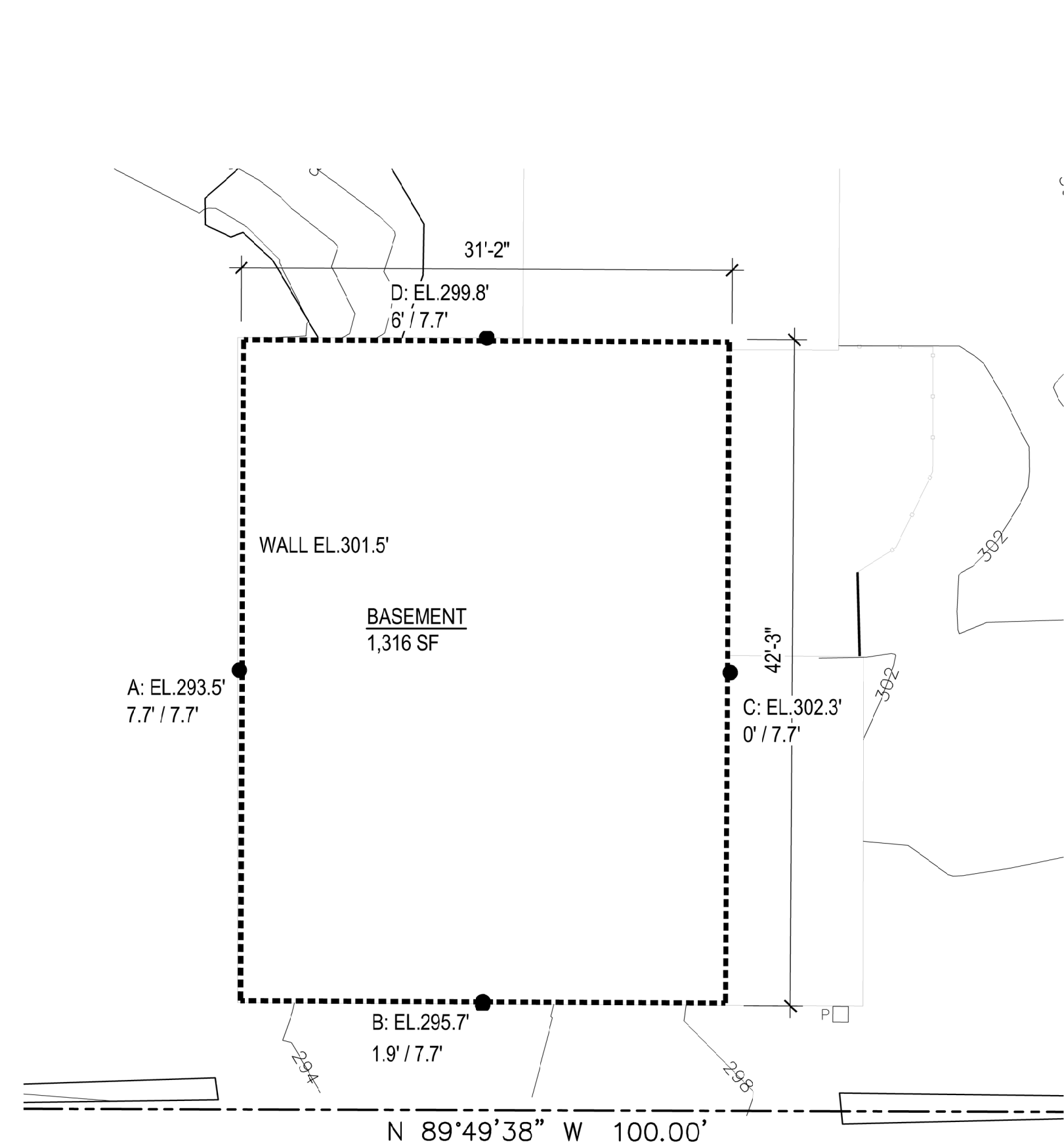
DATE: MAY, 2024
PROJECT#: 157
SCALE: AS NOTED

50% SD 02/14/23
100% SD 03/24/23
PRELIM. PRICING 05/01/23
REV 1 10/23/23
REVISED SCOPE 12/15/23
OPTIONS 02/02/24
PERMIT 05/28/24
PERMIT RESPONSE 1 10/10/24

DESIGNED: LH
DRAWN: LH
REVIEWED: LH

ZONING CODE
INFORMATION

A0.2



TOTAL OF WALL & COVERAGE

WALL SEGMENT	LENGTH x	COVERAGE	RESULT
A	42.3'	100%	42.3'
B	31.2'	24.7%	7.7'
C	42.3'	0%	0'
D	31.2'	77.9%	24.3'
TOTAL	147'		74.3'

PERCENTAGE OF BASEMENT WALL BELOW GRADE 74.3/147=51%
AREA OF BASEMENT BELOW GRADE (EXCLUDED FROM GFA) 51% OF 1,296 SF = 661 SF

GROSS FLOOR AREA CALCULATIONS

ALLOWABLE	40% OF LOT AREA (7,500) = 3,000 SF
	5% OF 7,500 = 375 SF INCREASE FOR ADU
TOTAL	3,375 SF
PROPOSED	(1,296-661) + 2,256 + 368 = 3,259 SF

1 GROSS FLOOR AREA CALCULATIONS
SCALE: 1/8" = 1'-0"

LOT COVERAGE CALCULATIONS

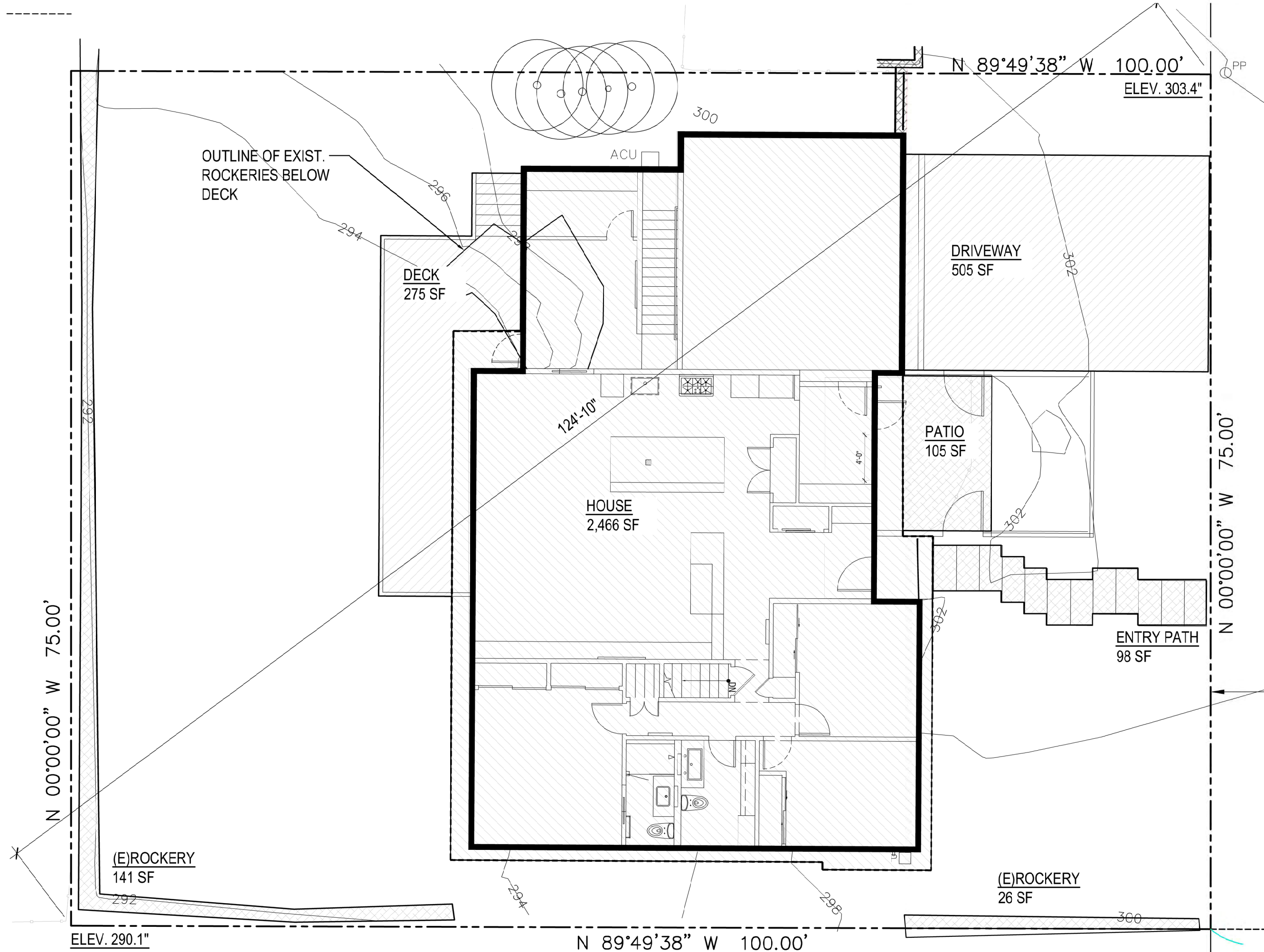
ALLOWABLE	40% OF LOT AREA (7,500) = 3,000 SF
PROPOSED	2,466 + 505 = 2,971 SF

HARDSCAPE/LANDSCAPED AREA CALCULATIONS

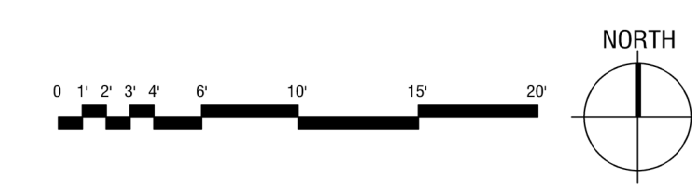
ALLOWABLE	60% OF LOT AREA (7,500) = 4,500 SF
	9% OF LOT AREA = 675 SF, 755 SF ADDITIONAL PER 19.02.020.3.b.i.a
PROPOSED	2,466 + 505 + 275 + 105 + 98 + 141 + 26 = 3,616 SF

SLOPE CALCULATIONS

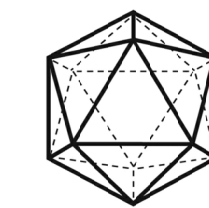
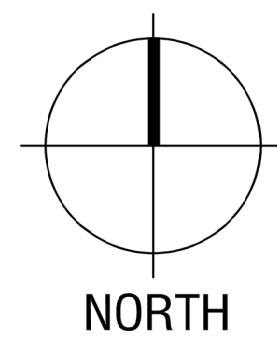
HIGHEST ELEV. POINT	303.4'
LOWEST ELEV. POINT	209.1'
ELEV. DIFFERENCE	13.3'
HORIZ. DISTANCE	124.8'
SLOPE	10.7%



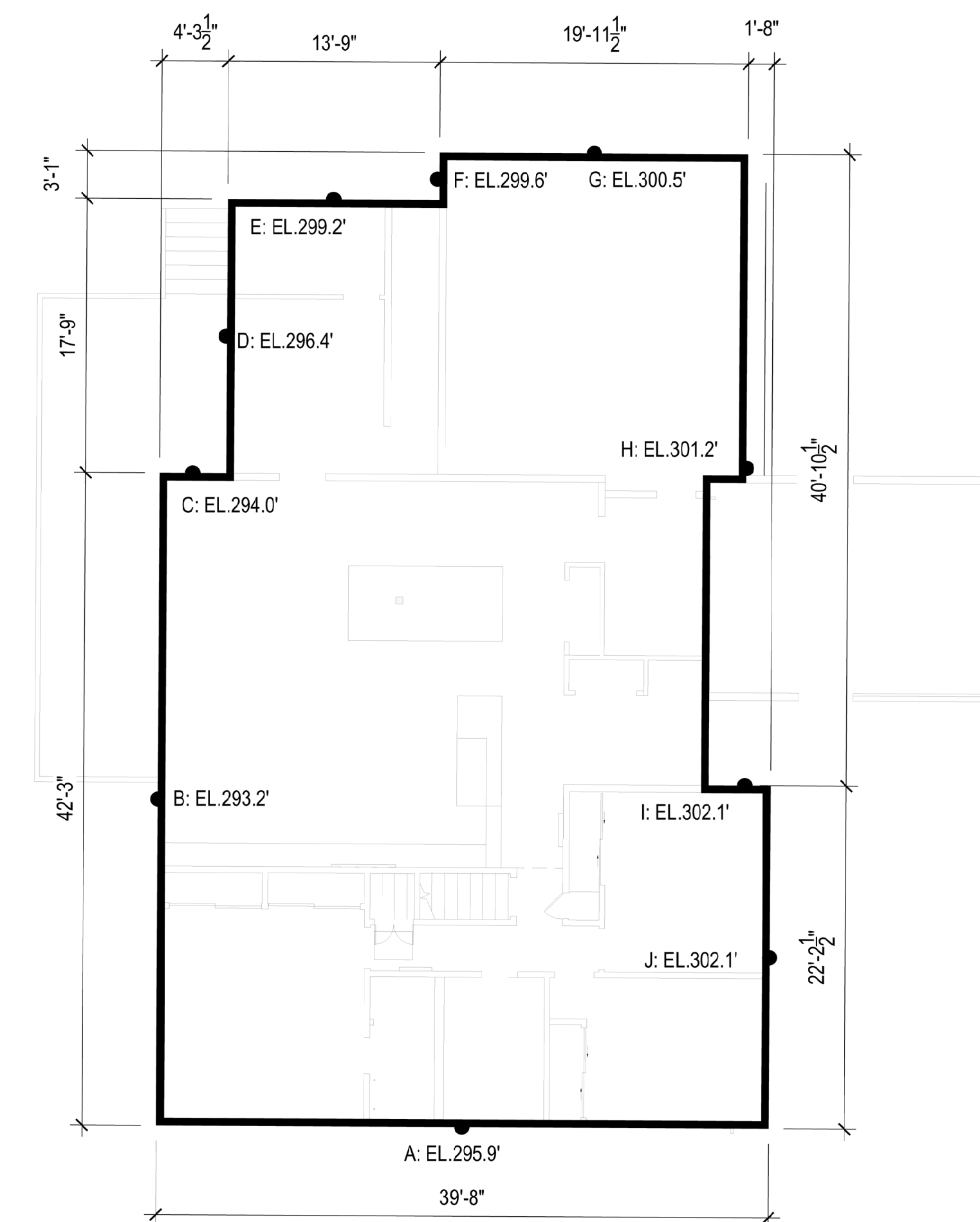
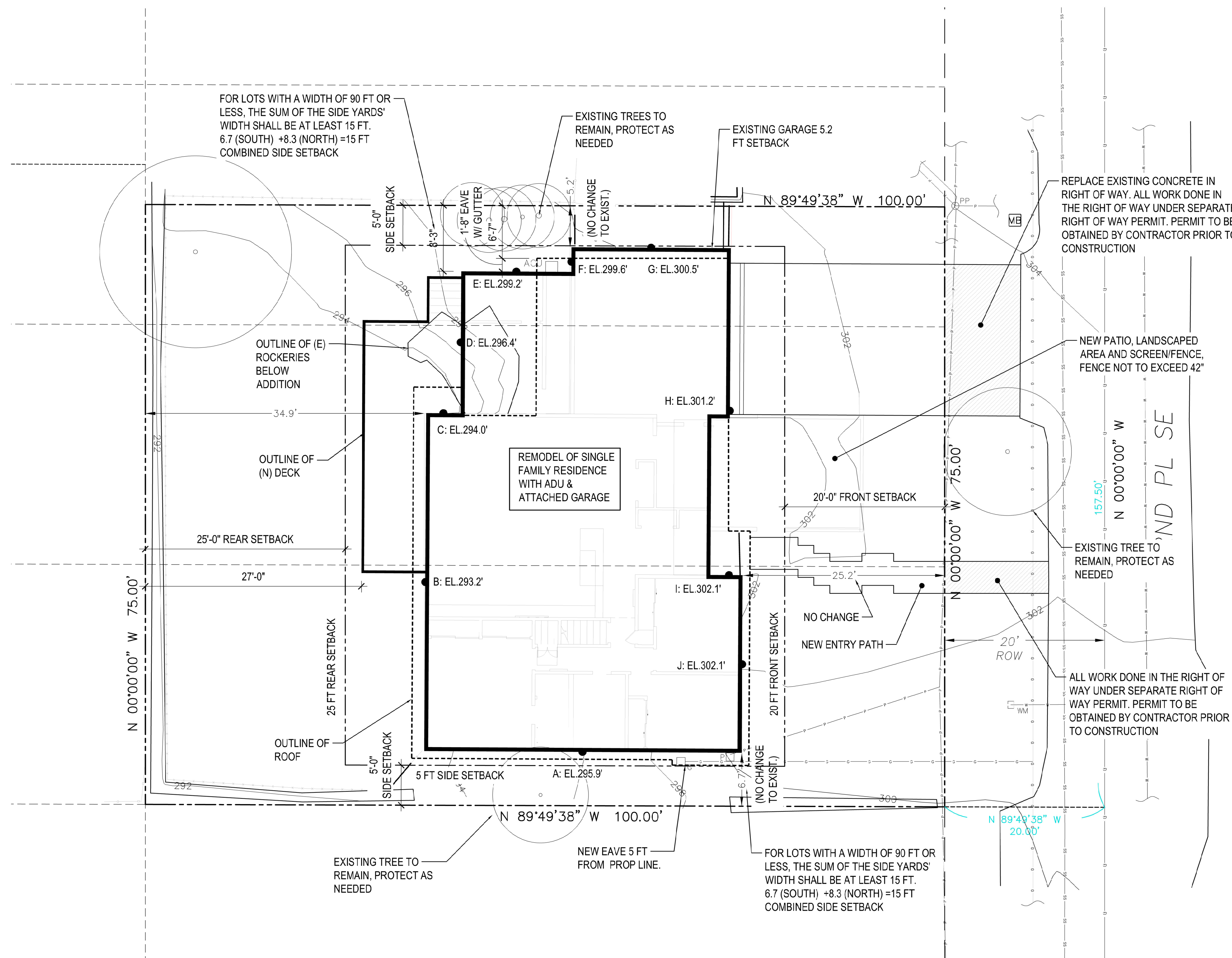
2 LOT COVERAGE CALCULATIONS
SCALE: 1/8" = 1'-0"



COPYRIGHT SALT STUDIO LLC. All rights reserved. Reproduction or translation of any part of this work without written permission of SALT STUDIO LLC is unlawful and subject to criminal prosecution.



SALT STUDIO



ARCHITECT
SALT STUDIO LLC
66 BELL STREET #1
SEATTLE, WA 98121
T: (206) 948 2104

OWNER:
JANE ECKELS/HANS ANDERSEN
3413 72ND PL SE
MERCER IS, WA 98040

STRUCTURAL ENGINEER:
SWENSON SAY FAGET
2124 3RD AVE SUITE 100
SEATTLE WA 98121
(206)443-6212



**ECKELS
ANDERSEN
ADDITION**

3413 72ND PL SE
MERCER IS, WA 98040

**PERMIT
SET**

DATE: MAY, 2024
PROJECT#: 157
SCALE: AS NOTED

50% SD 02/14/23
100% SD 03/24/23
PRELIM. PRICING 05/01/23
REV 1 10/23/23
REVISED SCOPE 12/15/23
OPTIONS 02/02/24
PERMIT 05/28/24
PERMIT RESPONSE 1 10/10/24

DESIGNED: LH
DRAWN: LH
REVIEWED: LH

SITE PLAN

A 1.0

1 SITE PLAN
SCALE: 1/8" = 1'-0"



GENERAL INFORMATION

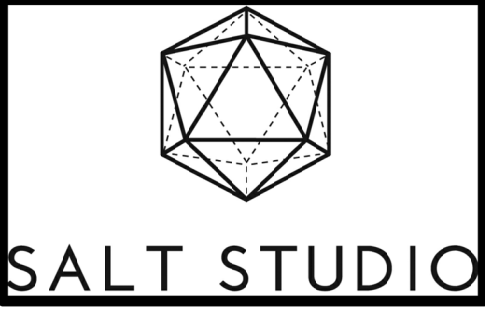
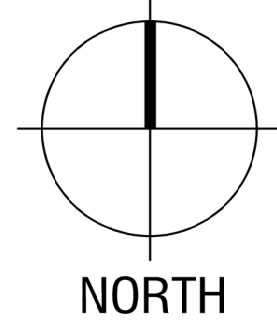
ADDRESS 3413 72ND PL SE
MERCER ISLAND, WA 98040

PARCEL No 130030-1360.

LEGAL DESCRIPTION: LOTS 4 AND 5 AND THE SOUTH 15 FEET OF LOT 3, BLOCK 5, C.C. CALKINS
FIRST ADDITION TO EAST SEATTLE, ACCORDING TO THE PLAT THEREOF
RECORDED IN VOLUME 4 OF PLATS, PAGE(S) 86, RECORDS OF KING
COUNTY, WASHINGTON
SITUATE IN THE COUNTY OF KING, STATE OF WASHINGTON.

OWNERS JANE ESKELS AND HANS ANDERSON

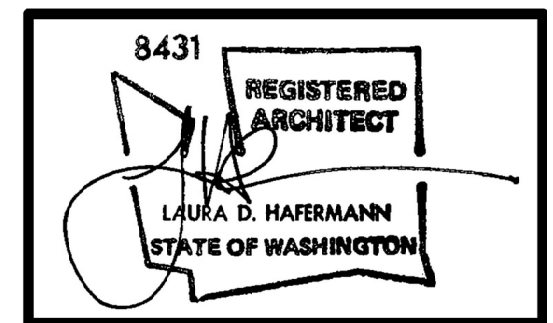
AVERAGE BUILDING ELEVATION			
WALL SEGMENT	MIDPOINT ELEVATION	WALL SEG. LEGTH	PRODUCT
A	295.9	39.7	11,747.2
B	293.2	42.3	12,402.4
C	294.0	4.3	1,264.2
D	296.4	17.8	5,275.9
E	299.2	13.8	4,129.0
F	299.6	3.1	928.8
G	300.5	19.9	5,980.0
H	301.2	40.9	12,319.1
I	302.1	1.7	513.6
J	302.1	22.2	6,706.6
TOTAL		205.7	61266.8
ABE			EL. 297.8'
ALLOWABLE HEIGHT			EL. 327.8'
PROPOSED HEIGHT			EL. 322.8'



ARCHITECT
 SALT STUDIO LLC
 66 BELL STREET #1
 SEATTLE, WA 98121
 T: (206) 948 2104

OWNER:
 JANE ECKELS/HANS ANDERSEN
 3413 72ND PL SE
 MERCER IS, WA 98040

STRUCTURAL ENGINEER:
 SWENSON SAY FAGET
 2124 3RD AVE SUITE 100
 SEATTLE WA 98121
 (206)443-6212



**ECKELS
 ANDERSEN
 ADDITION**

3413 72ND PL SE
 MERCER IS, WA 98040

**PERMIT
 SET**

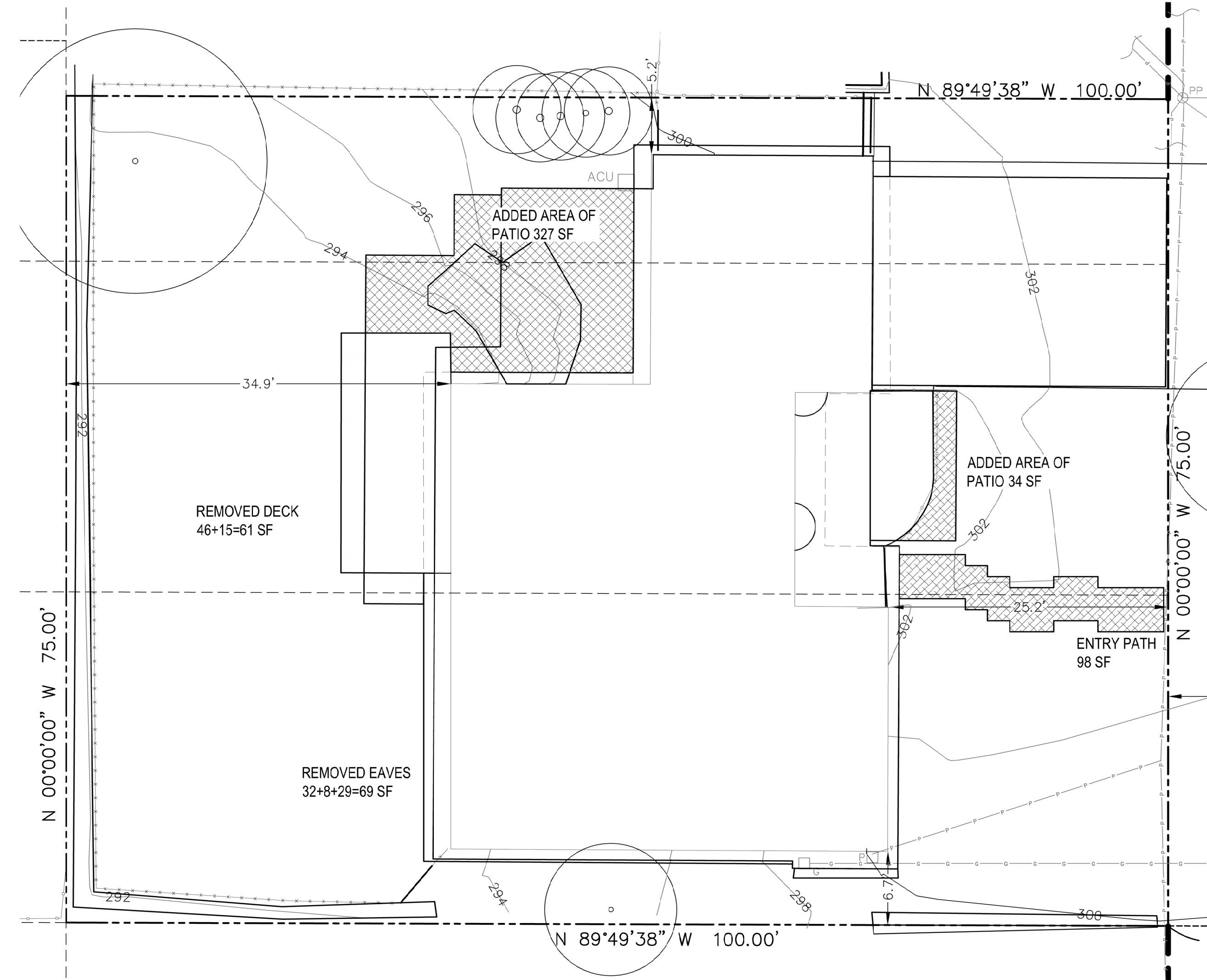
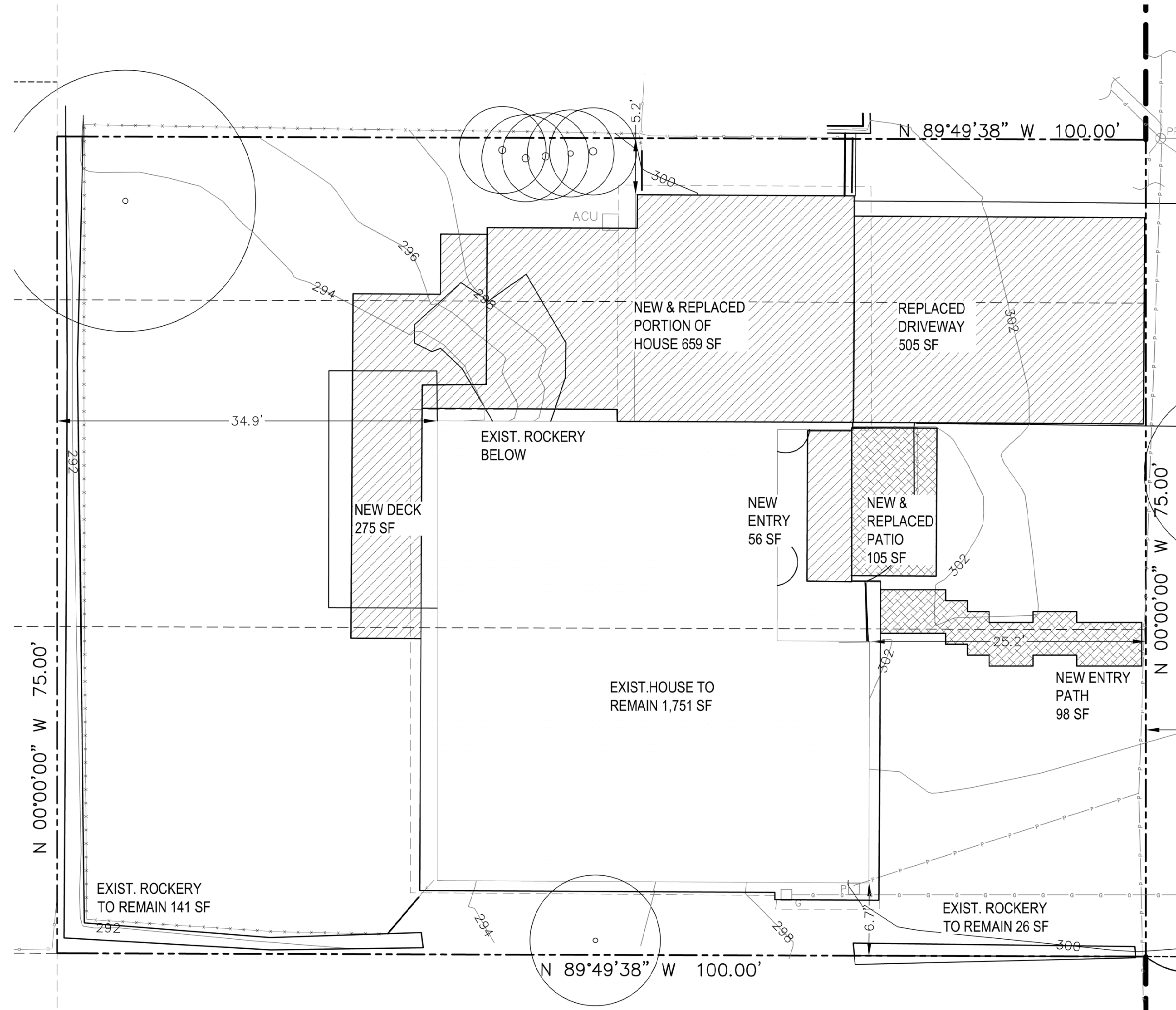
DATE: MAY, 2024
 PROJECT#: 157
 SCALE: AS NOTED

- 50% SD 02/14/23
- 100% SD 03/24/23
- PRELIM. PRICING 05/01/23
- REV 1 10/23/23
- REVISED SCOPE 12/15/23
- OPTIONS 02/02/24
- PERMIT 05/28/24
- PERMIT RESPONSE 1 10/10/24

DESIGNED: LH
 DRAWN: LH
 REVIEWED: LH

SITE PLAN

A 1.1



HARDSCAPE CALCULATIONS

NEW OR REPLACED 659+275+56+505+105+98=1,698 SF LESS THAN 2,000 SF
 EXISTING TO REMAIN 1,751+141+26=1,918 SF

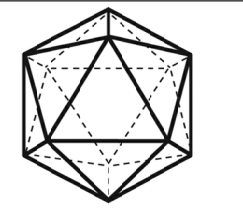
IMPERVIOUS CALCULATIONS

ADDED AREAS 327+98+34=459 SF
 REMOVED AREAS 61+69=130 SF
 TOTAL NEW 329 SF LESS THAN 500 SF

1 SITE PLAN CALCULATIONS

SCALE: 1/8" = 1'-0"



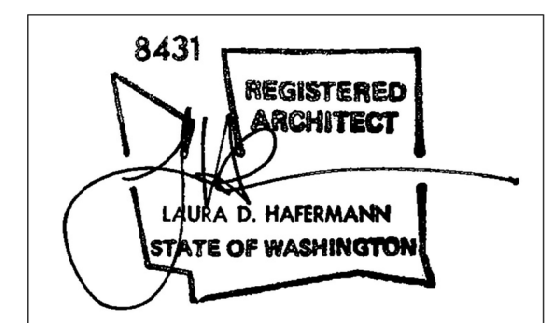


SALT STUDIO

ARCHITECT
SALT STUDIO LLC
66 BELL STREET #1
SEATTLE, WA 98121
T: (206) 948 2104

OWNER:
JANE ECKELS/HANS ANDERSEN
3413 72ND PL SE
MERCER IS, WA 98040

STRUCTURAL ENGINEER:
SWENSON SAY FAGET
2124 3RD AVE SUITE 100
SEATTLE WA 98121
(206)443-6212



ECKELS ANDERSEN ADDITION

3413 72ND PL SE
MERCER IS, WA 98040

PERMIT SET

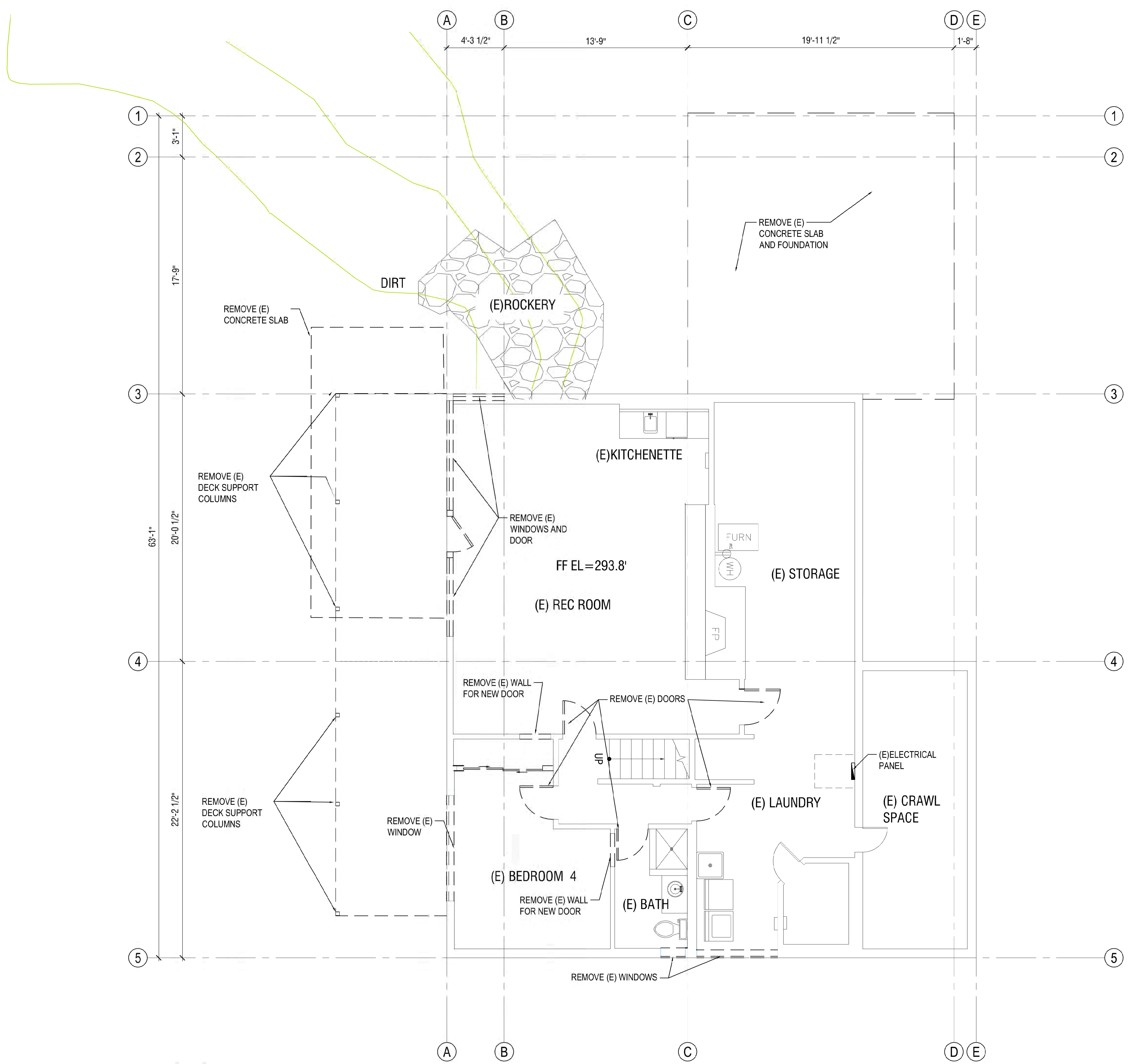
DATE: MAY, 2024
PROJECT#: 157
SCALE: AS NOTED

- 50% SD 02/14/23
- 100% SD 03/24/23
- PRELIM. PRICING 05/01/23
- REV 1 10/23/23
- REVISED SCOPE 12/15/23
- OPTIONS 02/02/24
- PERMIT 05/28/24
- PERMIT RESPONSE 1 10/10/24

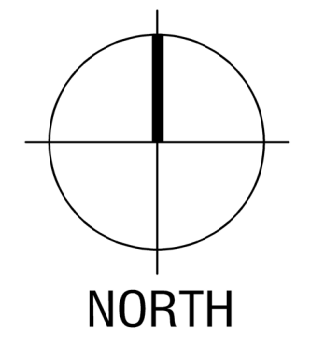
DESIGNED: LH
DRAWN: LH
REVIEWED: LH

LOWER LEVEL DEMO PLAN

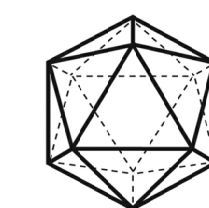
D1.0



1 LOWER LEVEL DEMO PLAN
SCALE: 1/4" = 1'-0"



COPYRIGHT SALT STUDIO LLC. All rights reserved. Reproduction or translation of any part of this work without written permission of SALT STUDIO LLC is unlawful and subject to criminal prosecution.

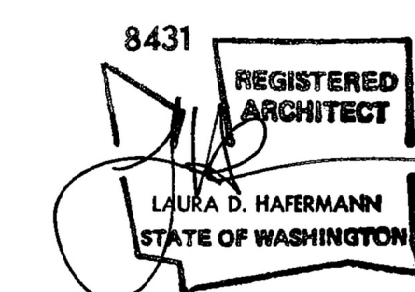


SALT STUDIO

ARCHITECT
SALT STUDIO LLC
66 BELL STREET #1
SEATTLE, WA 98121
T: (206) 948 2104

OWNER:
JANE ECKELS/HANS ANDERSEN
3413 72ND PL SE
MERCER IS, WA 98040

STRUCTURAL ENGINEER:
SWENSON SAY FAGET
2124 3RD AVE SUITE 100
SEATTLE WA 98121
(206)443-6212



ECKELS ANDERSEN ADDITION

3413 72ND PL SE
MERCER IS, WA 98040

PERMIT SET

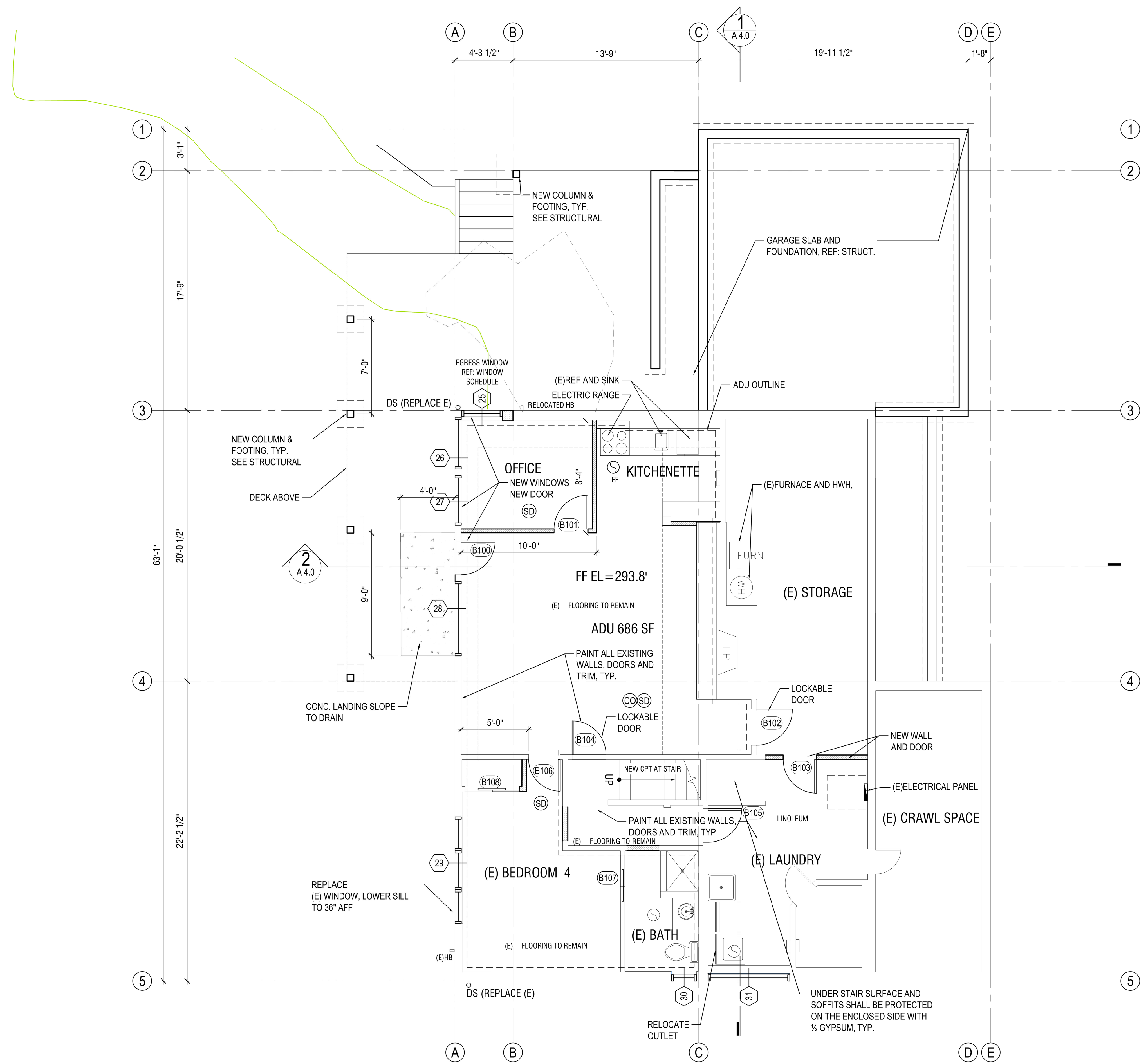
DATE: MAY, 2024
PROJECT#: 157
SCALE: AS NOTED

- 50% SD 02/14/23
- 100% SD 03/24/23
- PRELIM. PRICING 05/01/23
- REV 1 10/23/23
- REVISED SCOPE 12/15/23
- OPTIONS 02/02/24
- PERMIT 05/28/24
- PERMIT RESPONSE 1 10/10/24

DESIGNED: LH
DRAWN: LH
REVIEWED: LH

LOWER LEVEL FLOOR PLAN

A2.0



VENTS
EXHAUST AIR SHALL VENT DIRECTLY TO THE EXTERIOR OF THE BUILDING AND NOT IN ATTICS, SOFFITS, RIDGE VENTS, OR CRAWL SPACES. AIR EXHAUST OPENINGS SHALL TERMINATE NOT LESS THAN 3 FT FROM PROPERTY LINES; 3 FT FROM OPENINGS INTO BUILDING AND 10 FT FROM MECHANICAL AIR INTAKES, EXCEPT WHERE OPENING IS LOCATED 3FT ABOVE AIR INTAKE.

FIREPLACE
FACTORY-BUILT FIREPLACE SHALL BE LISTED, LABELED, TESTED IN ACCORDANCE WITH UL 127, AND INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S DIRECTIONS.

HANDRAIL IRC R311.7.8
• HEIGHT: 34-38 INCHES ABOVE STAIR NOSING.
• CONTINUITY: CONTINUOUS FOR FULL LENGTH OF FLIGHT. HANDRAIL SHALL BE RETURNED OR SHALL TERMINATE IN A NEWEL POST OR SAFETY TERMINAL.
• GRIP-SIZE: BETWEEN 1-1/4 AND 2 INCHES.
• WHERE USED AS A GUARDRAIL, A MAXIMUM OPENING SHALL BE 4 INCHES.

(SD) SMOKE ALARMS
IRC SECTION R314. A SMOKE ALARM LISTED AND LABELED IN ACCORDANCE WITH UL217 SHALL BE INSTALLED IN EACH SLEEPING ROOM, OUTSIDE EACH SLEEPING ROOM, ON EACH STORY OF THE DWELLING (INCLUDING BASEMENTS BUT EXCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS), AND NOT LESS THAN 3 FT HORIZONTALLY FROM DOOR OF BATHROOM THAT CONTAINS A BATHTUB OR SHOWER. SMOKE ALARMS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTUATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL UNIT.

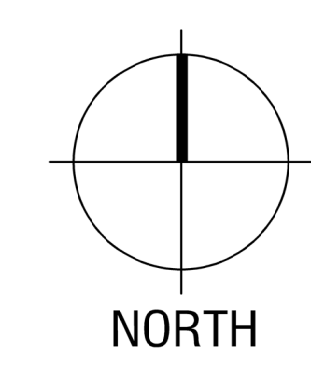
(CO) CARBON MONOXIDE ALARMS
AN APPROVED CARBON MONOXIDE ALARM LISTED WITH UL 2034 SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM AND ON EACH FLOOR OF THE DWELLING UNIT.

(H) HEAT DETECTORS AND HEAT ALARMS

(S) EXHAUST FAN

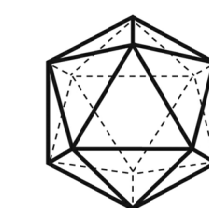
ANCHORAGE OF APPLIANCES
APPLIANCES DESIGNED TO BE FIXED IN POSITION SHALL BE FASTENED OR ANCHORED IN APPROVED MANNER. THERMAL STORAGE UNITS SHALL BE ANCHORED OR STRAPPED TO RESIST HORIZONTAL DISPLACEMENT CAUSED BY EARTHQUAKE IN ACCORDANCE TO THE FOLLOWING:
1. ANCHORAGE AND STRAPPING SHALL BE DESIGNED TO RESIST A HORIZONTAL FORCE EQUAL TO 1/3 OF OPERATION WEIGHT OF WATER.
2. ANCHORAGE OF STRAPPING SHALL BE IN ACCORDANCE WITH APPLIANCE MANUFACTURER'S RECOMMENDATIONS.

WATER HEATERS SHALL BE ANCHORED OR STRAPPED TO RESIST HORIZONTAL DISPLACEMENT DUE TO EARTHQUAKE MOTION. STRAPPING SHALL BE AT POINTS WITHIN UPPER 1/3 AND LOWER 1/3 OF ITS VERTICAL DIMENSIONS. AT THE LOWER POINT, A DISTANCE OF NOT LESS THAN 4" SHALL BE MAINTAINED FROM CONTROLS WITH STRAPPING.



1 LOWER LEVEL FLOOR PLAN
SCALE: 1/4" = 1'-0"

COPYRIGHT SALT STUDIO LLC. All rights reserved. Reproduction or translation of any part of this work without written permission of SALT STUDIO LLC is unlawful and subject to criminal prosecution.



SALT STUDIO

ARCHITECT
SALT STUDIO LLC
66 BELL STREET #1
SEATTLE, WA 98121
T: (206) 948 2104

OWNER:
JANE ECKELS/HANS ANDERSEN
3413 72ND PL SE
MERCER IS, WA 98040

STRUCTURAL ENGINEER:
SWENSON SAY FAGET
2124 3RD AVE SUITE 100
SEATTLE WA 98121
(206)443-6212

8431



ECKELS ANDERSEN ADDITION

3413 72ND PL SE
MERCER IS, WA 98040

PERMIT SET

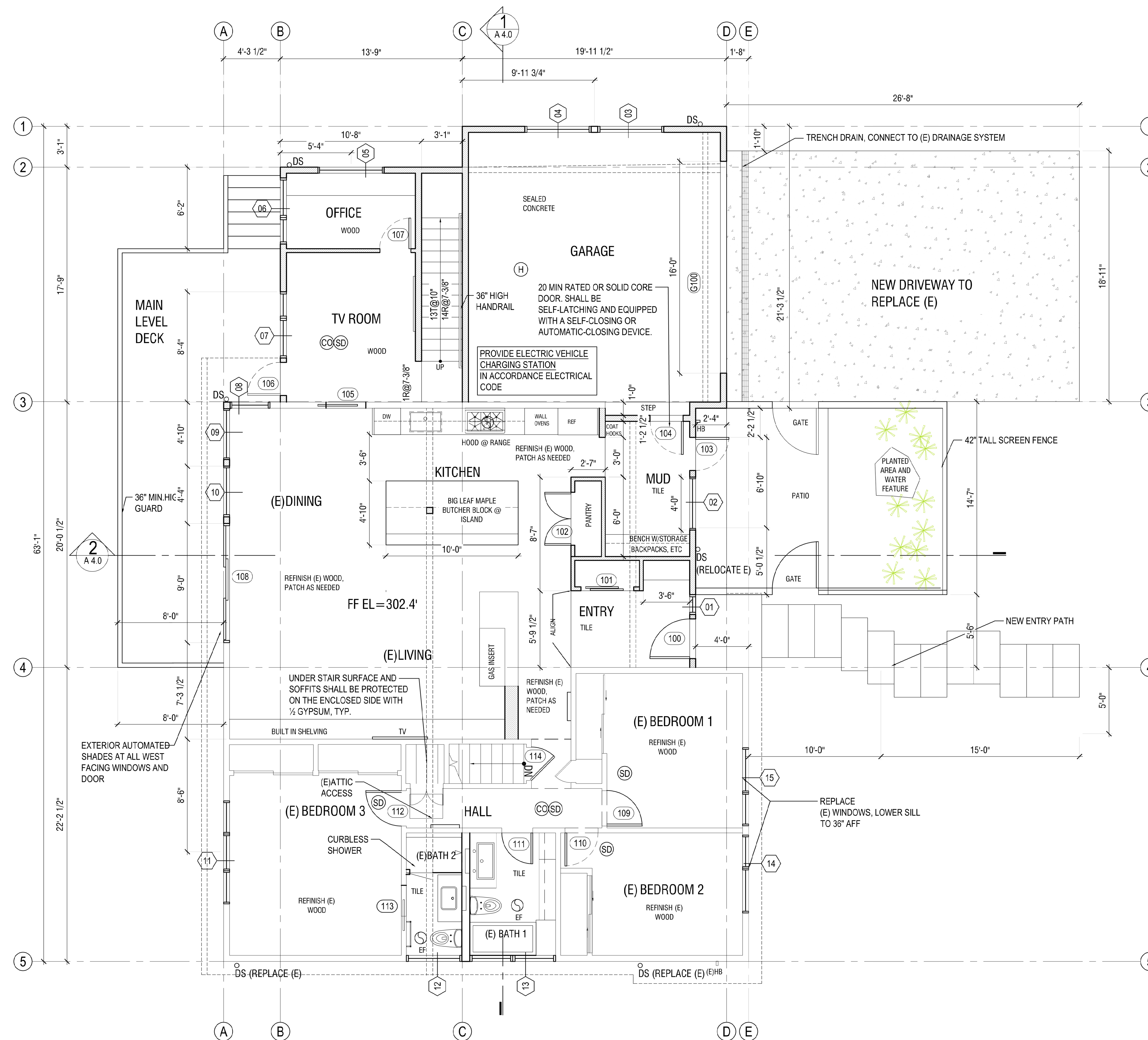
DATE: MAY, 2024
PROJECT#: 157
SCALE: AS NOTED

50% SD 02/14/23
100% SD 03/24/23
PRELIM. PRICING 05/01/23
REV 1 10/23/23
REVISED SCOPE 12/15/23
OPTIONS 02/02/24
PERMIT 05/28/24
PERMIT RESPONSE 1 10/10/24

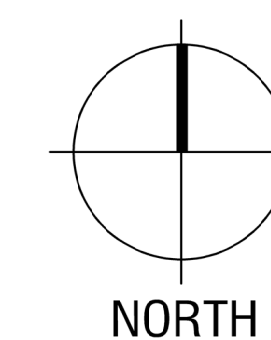
DESIGNED: LH
DRAWN: LH
REVIEWED: LH

MAIN LEVEL FLOOR PLAN

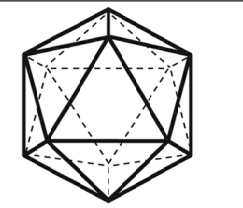
A2.1



1 MAIN LEVEL FLOOR PLAN
SCALE: 1/4" = 1'-0"



COPYRIGHT SALT STUDIO LLC. All rights reserved. Reproduction or translation of any part of this work without written permission of SALT STUDIO LLC is unlawful and subject to criminal prosecution.

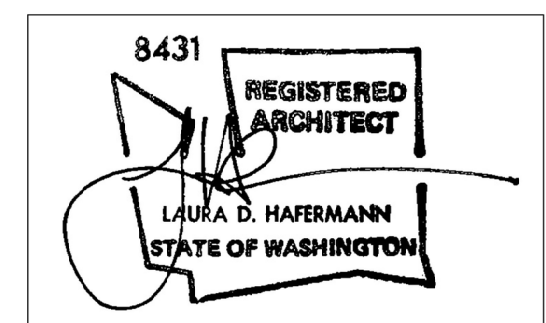


SALT STUDIO

ARCHITECT
SALT STUDIO LLC
66 BELL STREET #1
SEATTLE, WA 98121
T: (206) 948 2104

OWNER:
JANE ECKELS/HANS ANDERSEN
3413 72ND PL SE
MERCER IS, WA 98040

STRUCTURAL ENGINEER:
SWENSON SAY FAGET
2124 3RD AVE SUITE 100
SEATTLE WA 98121
(206)443-6212



ECKELS ANDERSEN ADDITION

3413 72ND PL SE
MERCER IS, WA 98040

PERMIT SET

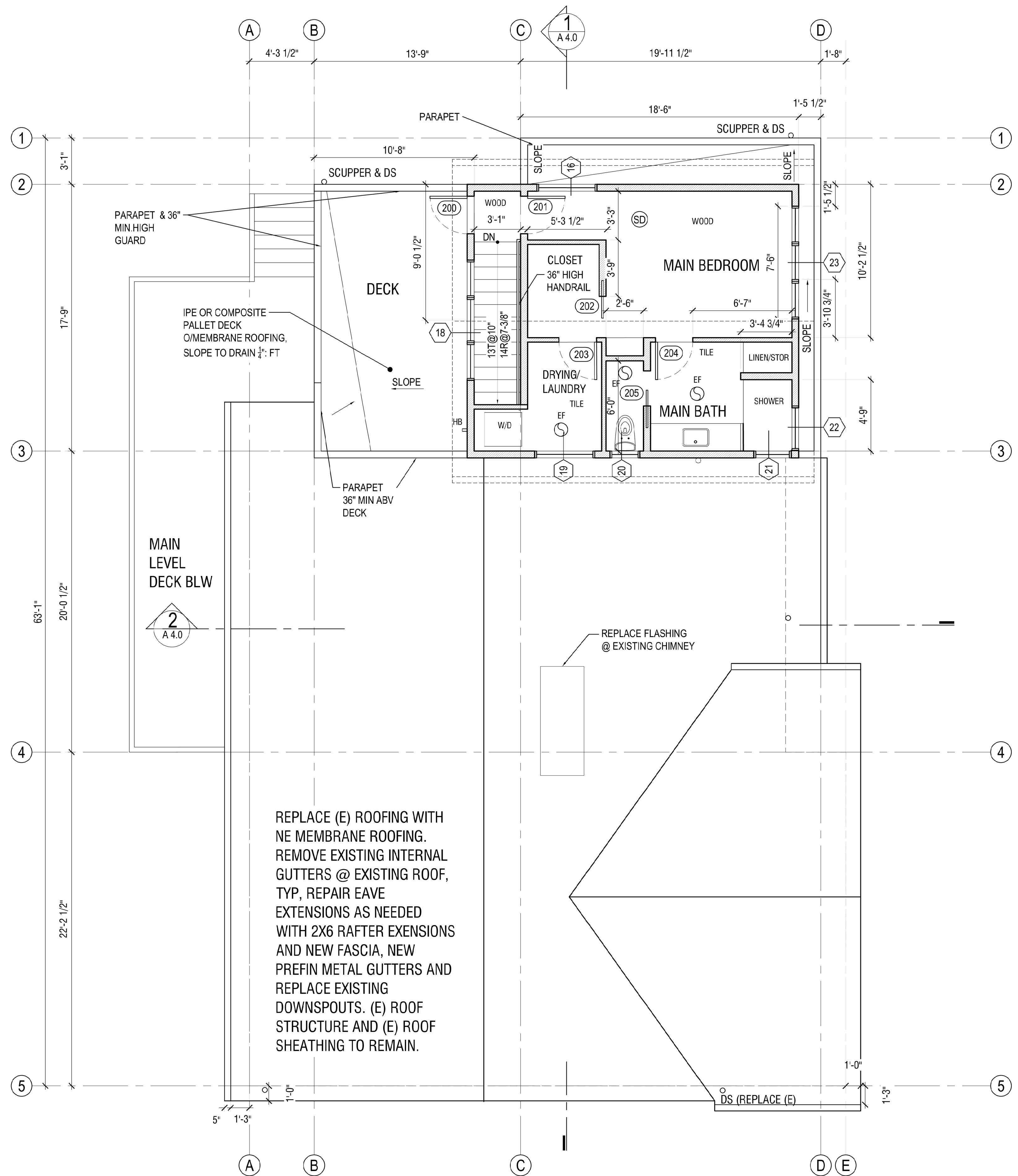
DATE: MAY, 2024
PROJECT#: 157
SCALE: AS NOTED

- 50% SD 02/14/23
- 100% SD 03/24/23
- PRELIM. PRICING 05/01/23
- REV 1 10/23/23
- REVISED SCOPE 12/15/23
- OPTIONS 02/02/24
- PERMIT 05/28/24
- PERMIT RESPONSE 1 10/10/24

DESIGNED: LH
DRAWN: LH
REVIEWED: LH

UPPER LEVEL FLOOR PLAN

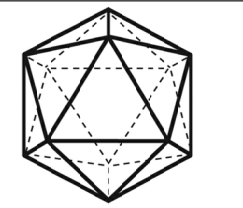
A2.2



1 UPPER LEVEL FLOOR PLAN
SCALE: 1/4" = 1'-0"

COPYRIGHT SALT STUDIO LLC

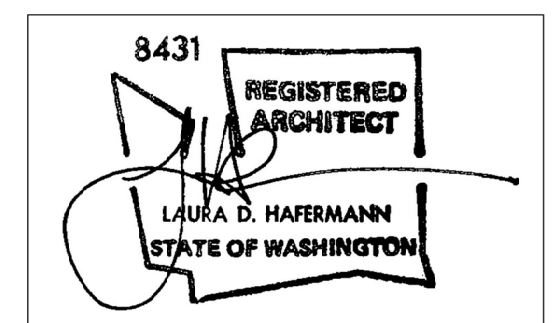
All rights reserved. Reproduction or translation of any part of this work without written permission of SALT STUDIO LLC is unlawful and subject to criminal prosecution.



SALT STUDIO

ARCHITECT
SALT STUDIO LLC
66 BELL STREET #1
SEATTLE, WA 98121
T: (206) 948 2104
OWNER:
JANE ECKELS/HANS ANDERSEN
3413 72ND PL SE
MERCER IS, WA 98040

STRUCTURAL ENGINEER:
SWENSON SAY FAGET
2124 3RD AVE SUITE 100
SEATTLE WA 98121
(206)443-6212



ECKELS ANDERSEN ADDITION

3413 72ND PL SE
MERCER IS, WA 98040

PERMIT SET

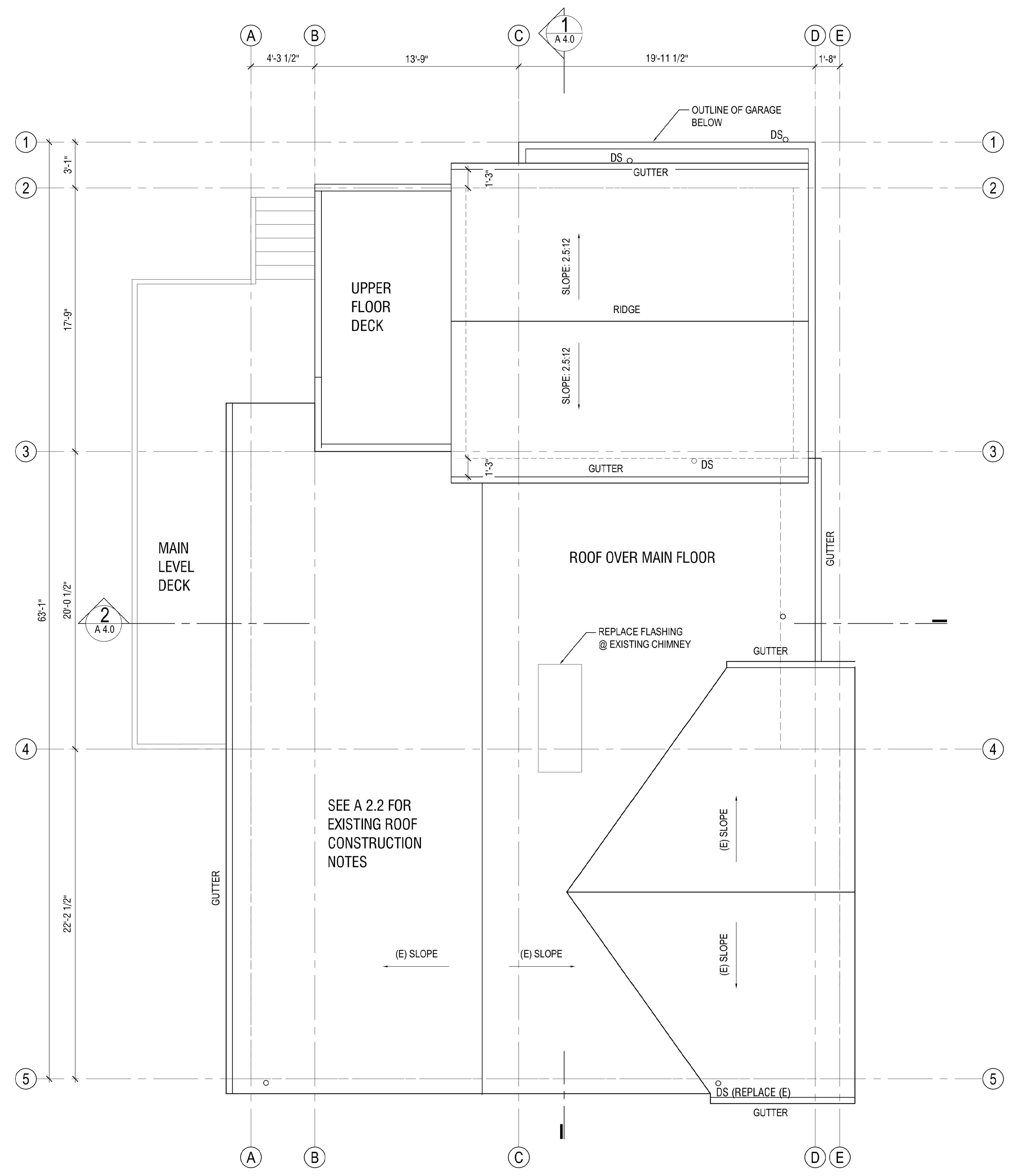
DATE: MAY, 2024
PROJECT#: 157
SCALE: AS NOTED

50% SD 02/14/23
100% SD 03/24/23
PRELIM. PRICING 05/01/23
REV 1 10/23/23
REVISED SCOPE 12/15/23
OPTIONS 02/02/24
PERMIT 05/28/24
PERMIT RESPONSE 1 10/10/24

DESIGNED: LH
DRAWN: LH
REVIEWED: LH

ROOF PLAN

A2.3

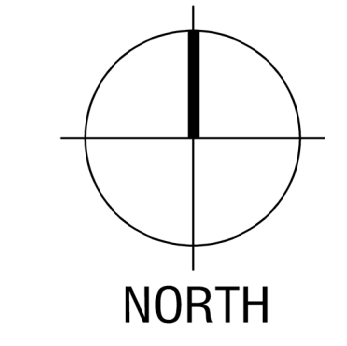


ROOF VENTILATION OVER ROOF DECK
IN LIEU OF VENTILATION PROVIDE SPRAYED OF ICYNENE PROCEAL (ICC ESR-3500), AIR IMPERMEABLE INSULATION ACHIEVING R19 INSULATION IMMEDIATELY BELOW ROOF SHEATHING. FILL REMAINING PORTION OF CAVITY W/ R19 FIBERGLASS INSULATION TO ACHIEVE R38 IN CAVITY.
A COPY OF THE ICC-ES REPORT FOR THE INSULATION PRODUCT MUST BE PROVIDED ON SITE FOR THE FILED INSPECTOR.
THE APPLIED SPRAY FOAM MUST BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS BY A CERTIFIED INSTALLER

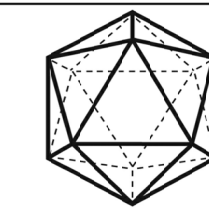
ATTIC VENTILATION
ENCLOSED ATTICS AND RAFTER SPACES SHALL HAVE CROSS VENTILATION. FOR EACH SEPARATE SPACE, THE TOTAL NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1 TO 150 OF THE AREA OF THE SPACE VENTILATED, THE TOTAL AREA IS PERMITTED TO BE REDUCED TO 1 TO 300, PROVIDED AT LEAST 40 PERCENT AND NOT MORE THAN 50 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE ATTIC OR RAFTER SPACE. UPPER VENTILATORS SHALL BE LOCATED NO MORE THAN 3 FT. BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE, MEASURED VERTICALLY, WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE OR CORNICE VENTS. WHERE THE LOCATION OF WALL OR ROOF FRAMING MEMBERS CONFLICTS WITH THE INSTALLATION OF UPPER VENTILATORS, INSTALLATION MORE THAN 3 FT. BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE SHALL BE PERMITTED. VENT OPENINGS SHALL BE PROVIDED WITH CORROSION RESISTANT WIRE MESH WITH 1/8" MINIMUM TO 1/2" MAXIMUM OPENINGS. A MINIMUM OF A 1-INCH AIRSPACE MUST BE MAINTAINED BETWEEN THE INSULATION AND THE ROOF SHEATHING AT THE LOCATIONS OF THE VENTS.

NET FREE VENT AREA 365 SF / 150 = 2.43 SQ.FT
19 FT x 3" = 4.75 SQ. FT EAVE AND RIDGE VENT

1 ROOF PLAN
SCALE: 1/4" = 1'-0"



Copyright Salt Studio LLC. All rights reserved. Reproduction or translation of any part of this work without written permission of Salt Studio LLC is unlawful and subject to criminal prosecution.



SALT STUDIO

ARCHITECT
SALT STUDIO LLC
66 BELL STREET #1
SEATTLE, WA 98121
T: (206) 948 2104

OWNER:
JANE ECKELS/HANS ANDERSEN
3413 72ND PL SE
MERCER IS, WA 98040

STRUCTURAL ENGINEER:
SWENSON SAY FAGET
2124 3RD AVE SUITE 100
SEATTLE WA 98121
(206)443-6212



ECKELS ANDERSEN ADDITION

3413 72ND PL SE
MERCER IS, WA 98040

PERMIT SET

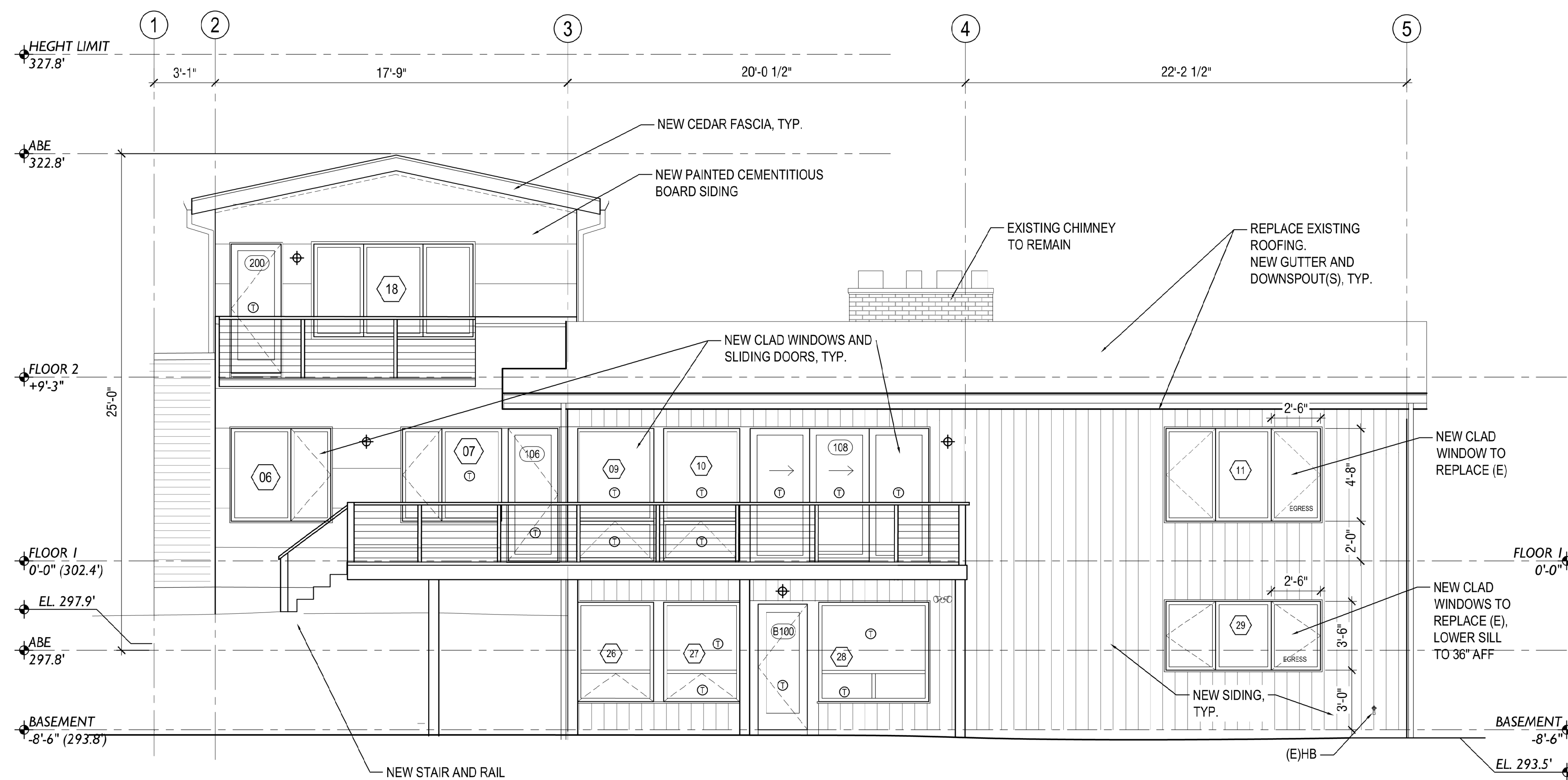
DATE: MAY, 2024
PROJECT#: 157
SCALE: AS NOTED

50% SD 02/14/23
100% SD 03/24/23
PRELIM. PRICING 05/01/23
REV 1 10/23/23
REVISED SCOPE 12/15/23
OPTIONS 02/02/24
PERMIT 05/28/24
PERMIT RESPONSE 1 10/10/24

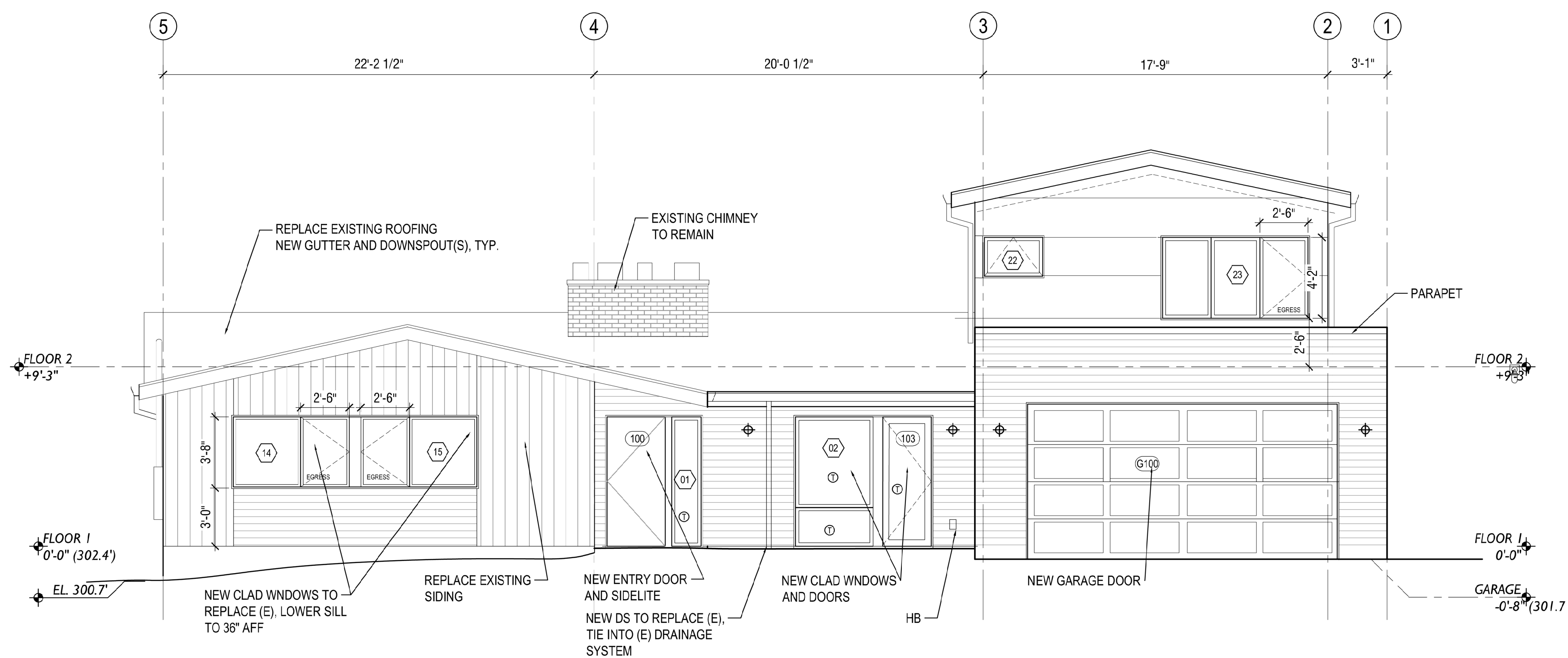
DESIGNED: LH
DRAWN: LH
REVIEWED: LH

ELEVATIONS WEST & EAST

A 3.0



1 ELEVATION WEST
SCALE: 1/8" = 1'-0"



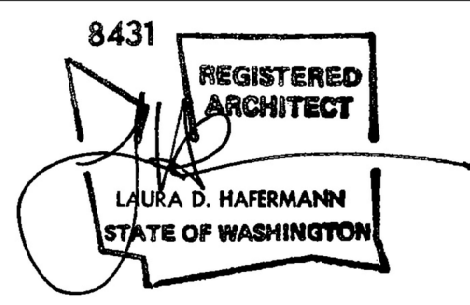
2 ELEVATION EAST
SCALE: 1/8" = 1'-0"



ARCHITECT:
SALT STUDIO LLC
66 BELL STREET #1
SEATTLE, WA 98121
T: (206) 948 2104

OWNER:
JANE ECKELS/HANS ANDERSEN
3413 72ND PL SE
MERCER IS, WA 98040

STRUCTURAL ENGINEER:
SWENSON SAY FAGET
2124 3RD AVE SUITE 100
SEATTLE WA 98121
(206)443-6212



ECKELS
ANDERSEN
ADDITION

3413 72ND PL SE
MERCER IS, WA 98040

PERMIT
SET

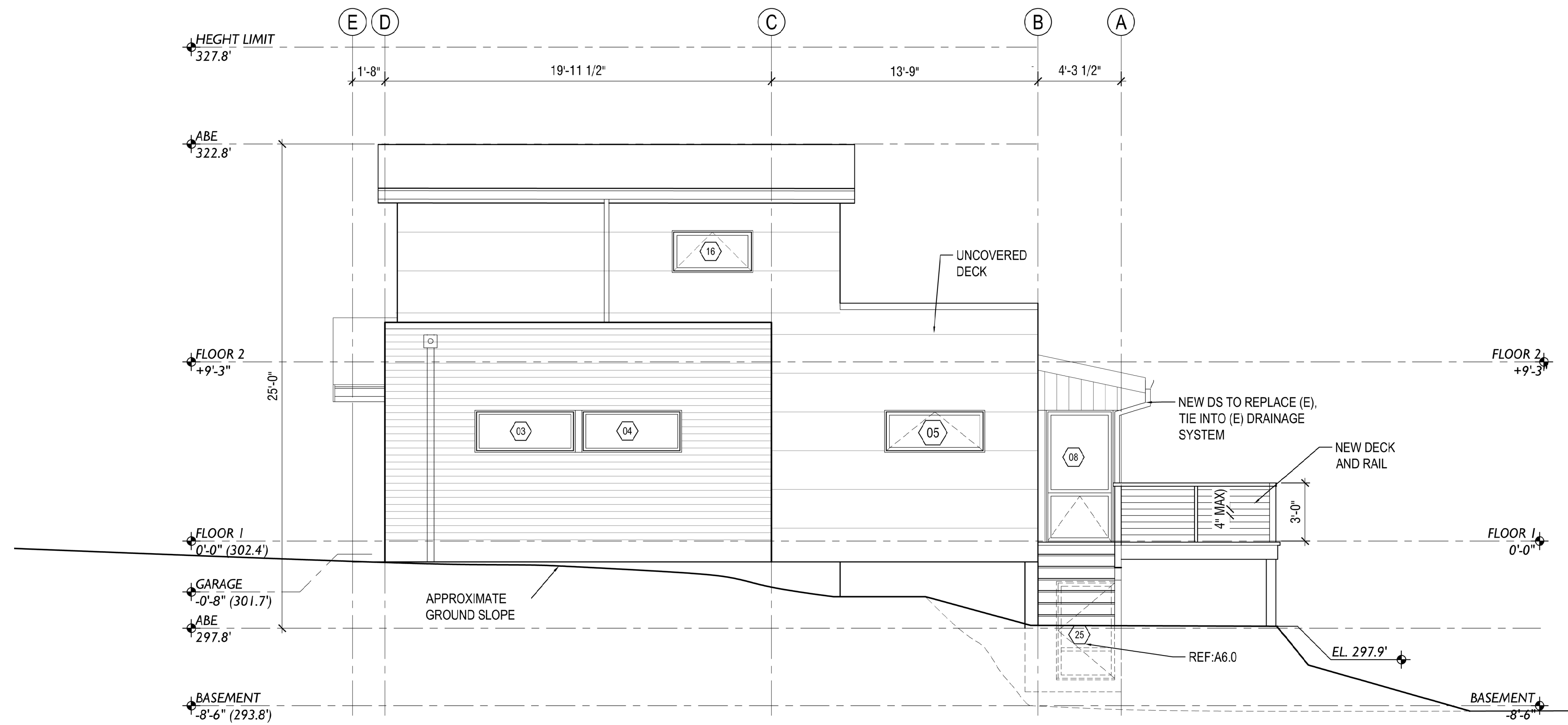
DATE: MAY, 2024
PROJECT#: 157
SCALE: AS NOTED

50% SD 02/14/23
100% SD 03/24/23
PRELIM. PRICING 05/01/23
REV 1 10/23/23
REVISED SCOPE 12/15/23
OPTIONS 02/02/24
PERMIT 05/28/24
PERMIT RESPONSE 1 10/10/24

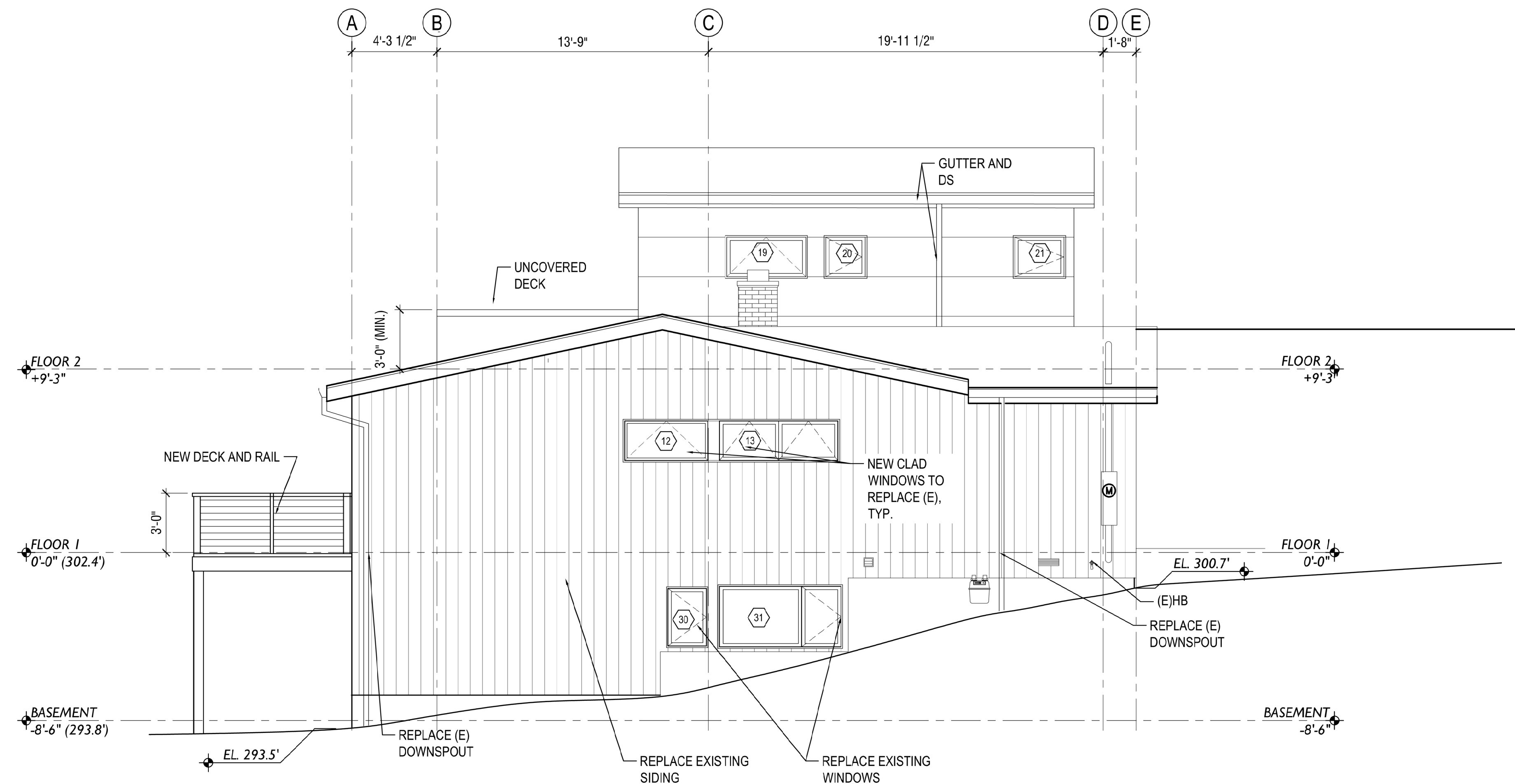
DESIGNED: LH
DRAWN: LH
REVIEWED: LH

ELEVATIONS
NORTH & SOUTH

A 3.1



1 ELEVATION NORTH
SCALE: 1/8" = 1'-0"



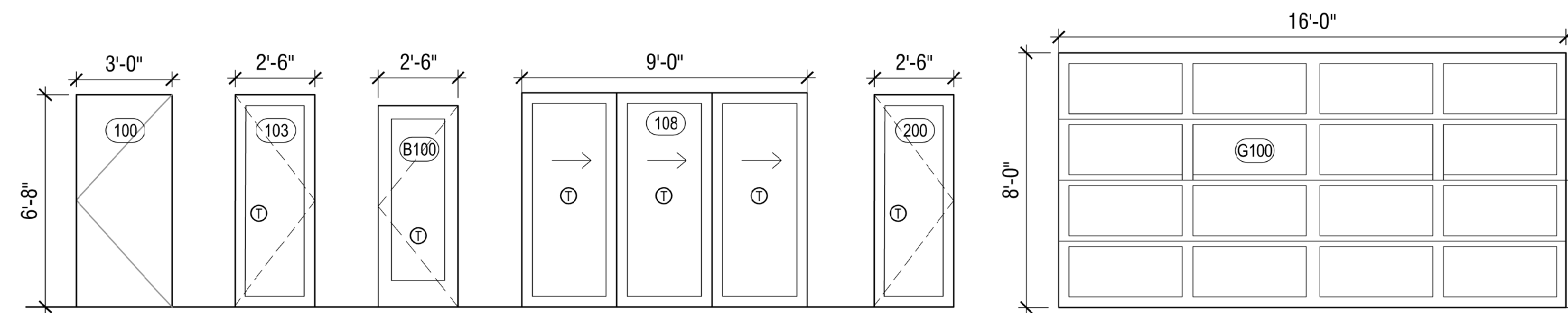
2 ELEVATION SOUTH
SCALE: 1/8" = 1'-0"



SAFETY GLAZING

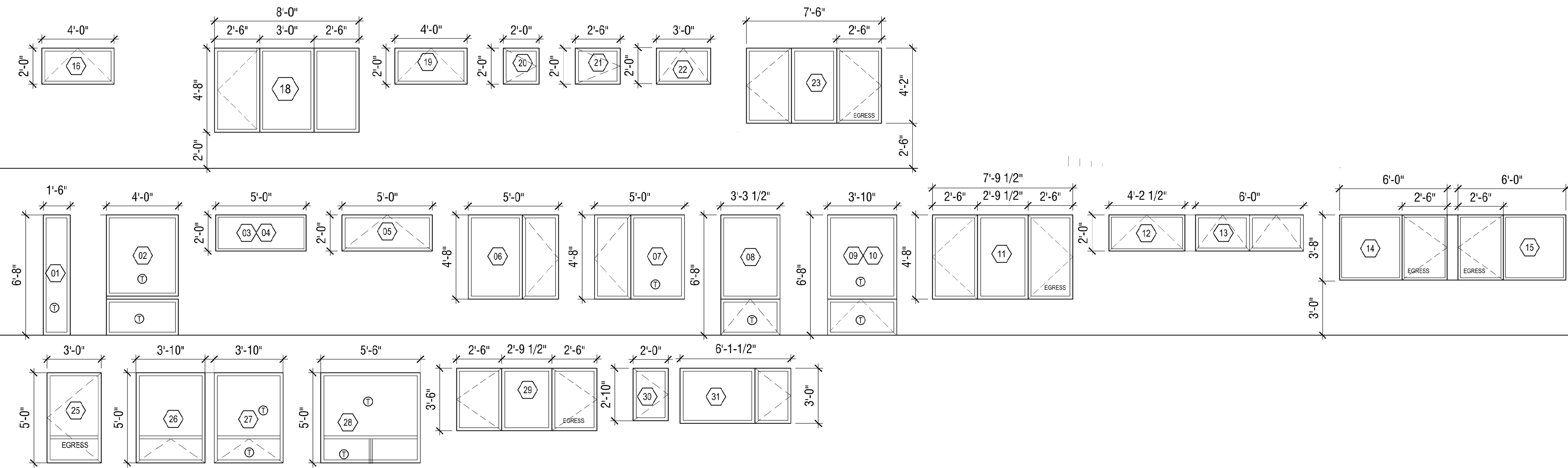
IRC SECTION R308 ALL GLASS LOCATED IN AN AREA CONSIDERED HAZARDOUS MUST BE SAFETY GLAZED:

- A. GLAZING IN ALL FIXED AND OPERABLE PANELS OF SWINGING, SLIDING AND BIFOLD DOORS, EXCEPT DECORATIVE GLAZING AND GLAZED OPENINGS
- B. GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE IS WITHIN A 24" ARC OF THE DOOR IN A CLOSED POSITION AND WHOSE BOTTOM EDGE IS LESS THAN 60" ABOVE THE FLOOR OR WALKING SURFACE. EXCEPTIONS: DECORATIVE GLAZING; AN INTERVENING WALL OR PERMANENT BARRIER IS BETWEEN THE DOOR AND THE GLAZING; GLAZING IS IN A WALL ON THE LATCH SIDE OF THE DOOR AND PERPENDICULAR TO THE PLANE OF THE DOOR IN A CLOSED POSITION; GLAZING ADJACENT TO A DOOR GIVING ACCESS TO A CLOSET WHICH IS LESS THAN 3' IN DEPTH SHALL COMPLY WITH C BELOW; AND GLAZING ADJACENT TO THE FIXED PANEL OF A PATIO DOOR.
- C. GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL THAT MEET ALL OF THE FOLLOWING CONDITIONS:
 - I. EXPOSED AREA OF AN INDIVIDUAL PANE IS GREATER THAN 9 SQUARE FEET. AND
 - II. EXPOSED BOTTOM EDGE IS LESS THAN 18" ABOVE THE FLOOR. AND
 - III. EXPOSED TOP EDGE IS GREATER THAN 36" ABOVE THE FLOOR. AND
- IV. 1 OR MORE WALKING SURFACES ARE WITHIN 36" HORIZONTALLY AND IN A STRAIGHT LINE OF THE GLAZING. EXCEPTIONS: DECORATIVE GLAZING; A RAIL AT LEAST 1 1/2" HIGH AND CAPABLE OF WITHSTANDING A HORIZONTAL FORCE AT LEAST 50 POUNDS PER LINEAR FOOT WITHOUT CONTACTING THE GLASS IS INSTALLED IN FRONT OF THE GLAZING 34" TO 38" ABOVE THE WALKING SURFACE, OR OUTBOARD PANES IN INSULATING GLASS UNITS AND OTHER MULTIPLE GLAZED PANELS WHEN THE BOTTOM EDGE OF THE GLASS IS 25 FEET OR MORE ABOVE GRADE. ROOF, WALKING SURFACES OR OTHER HORIZONTAL SURFACE ADJACENT TO THE GLASS EXTERIOR.
- D. GLAZING IN RAILINGS REGARDLESS OF AREA OR HEIGHT ABOVE A WALKING SURFACE.
- E. TUB, SHOWER, HOT TUB, WHIRLPOOL, SAUNA, & STEAM ROOM ENCLOSURES AND ANY GLAZING IN A BATHROOM WALL ENCLOSURE, WHERE THE BOTTOM IS LESS THAN 60" ABOVE THE WALKING SURFACE. EXCEPTION: GLAZING MORE THAN 60" MEASURED HORIZONTALLY FROM THE WATER'S EDGE OF A HOT TUB, WHIRLPOOL OR BATHTUB.
- F. GLAZING IN WALLS AND FENCES USED AS THE BARRIER OF INDOOR AND OUTDOOR SWIMMING POOLS AND SPAS WHEN THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60" ABOVE A WALKING SURFACE AND THE GLAZING IS WITHIN 5' OF THE WATER'S EDGE.
- G. GLAZING WITHIN 36" HORIZONTALLY OF A WALKING SURFACE AND ADJACENT TO STAIRWAYS, LANDINGS AND RAMPS WHEN THE EXPOSED SURFACE IS LESS THAN 36" ABOVE THE PLANE OF THE WALKING SURFACE. EXCEPTION: A RAIL, GUARD OR WALL IS INSTALLED MEETING CONDITIONS OF R308.4 (7).
- H. GLAZING WITHIN 60" HORIZONTALLY OF THE BOTTOM TREAD OF A STAIRWAY IN ANY DIRECTION WHEN THE EXPOSED SURFACE OF THE GLASS IS LESS THAN 36 INCHES ABOVE THE NOSE OF THE TREAD. EXCEPTION: GUARDS COMPLYING WITH R312 AND THE GLASS IS MORE THAN 18" FROM THE GUARD.



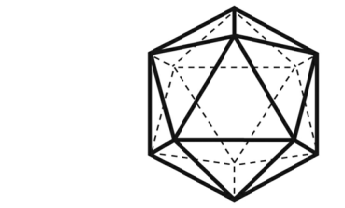
NOTE: DOOR BETWEEN LIVING SPACE AND GARAGE TO BE 20 MIN RATED OR SOLID CORE, SELF-LATCHING AND EQUIPPED WITH SELF-CLOSING OR AUTOMATIC CLOSING DEVICE.

EXTERIOR DOOR TYPES
SCALE 1/4" = 1'-0"



WINDOW TYPES
SCALE 1/4" = 1'-0"

NOTE: MIN. WINDOW/GLAZED DOOR U VALUE: 0.27, REF A0.3

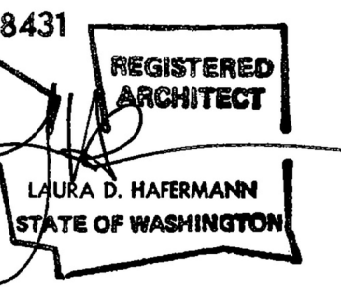


SALT STUDIO

ARCHITECT
SALT STUDIO LLC
66 BELL STREET #1
SEATTLE, WA 98121
T: (206) 948 2104

OWNER:
JANE ECKELS/HANS ANDERSEN
3413 72ND PL SE
MERCER IS, WA 98040

STRUCTURAL ENGINEER:
SWENSON SAY FAGET
2124 3RD AVE SUITE 100
SEATTLE WA 98121
(206)443-6212



ECKELS
ANDERSEN
ADDITION

3413 72ND PL SE
MERCER IS, WA 98040

PERMIT
SET

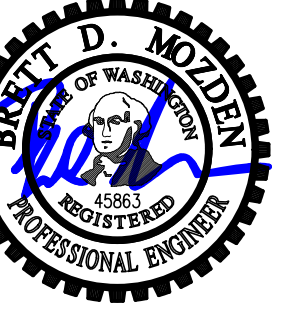
DATE: MAY, 2024
PROJECT#: 157
SCALE: AS NOTED

- 50% SD 02/14/23
- 100% SD 03/24/23
- PRELIM. PRICING 05/01/23
- REV 1 10/23/23
- REVISED SCOPE 12/15/23
- OPTIONS 02/02/24
- PERMIT 05/28/24
- PERMIT RESPONSE 1 10/10/24

DESIGNED: LH
DRAWN: LH
REVIEWED: LH

SCHEDULES

A6.0



DESIGN: LAN
 DRAWN: NHD
 CHECKED: BDM
 APPROVED: BDM

REVISIONS:

DPD:

PROJECT TITLE:
Eckels Andersen
 3413 72nd Pl. SE
 Mercer Island, WA 98040

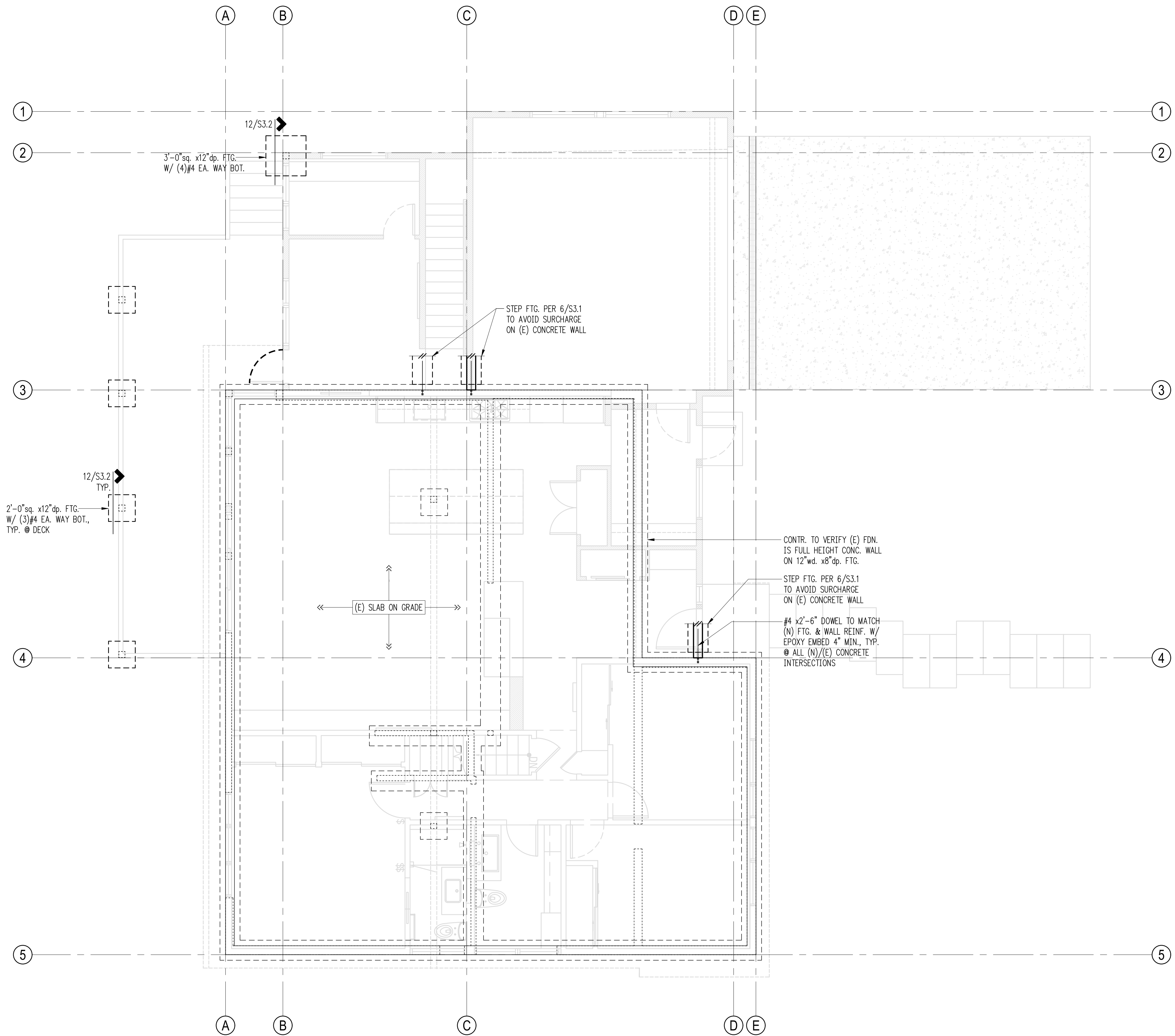
ARCHITECT:
Salt Studio LLC
 66 Bell Street #1
 Seattle, WA 98121
 PH 206.948.2104

ISSUE:
PERMIT

SHEET TITLE:
Foundation Plan

SCALE: 1/4" = 1'-0" U.N.O.
 DATE: May 9, 2024
 PROJECT NO: 10213-2023-02
 SHEET NO:

S2.1



Plan Notes

- DO NOT SCALE DRAWINGS. REFER TO ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS.
- REFER TO GENERAL STRUCTURAL NOTES FOR ADDITIONAL REQUIREMENTS.
- EXISTING FRAMING ON PLANS IS ASSUMED. CONTRACTOR TO VERIFY DIRECTIONS AND EXTENTS. NOTIFY ARCHITECT AND ENGINEER IF DIFFERENT.
- THE BOTTOM OF ALL NEW EXTERIOR FOOTINGS SHALL BE 18" MINIMUM BELOW EXTERIOR GRADE.
- PROVIDE AC OR LCE COLUMN CAP AND ABU BASE AT ALL NEW ISOLATED BEAM TO COLUMN CONNECTIONS U.N.O.

Legend

- NEW STRUCTURAL WALL OR POST ABOVE
- EXISTING STRUCTURAL WALL OR POST ABOVE
- NEW STEM WALL & FOOTING
- EXISTING STEM WALL & FOOTING



